

Granite Transformations

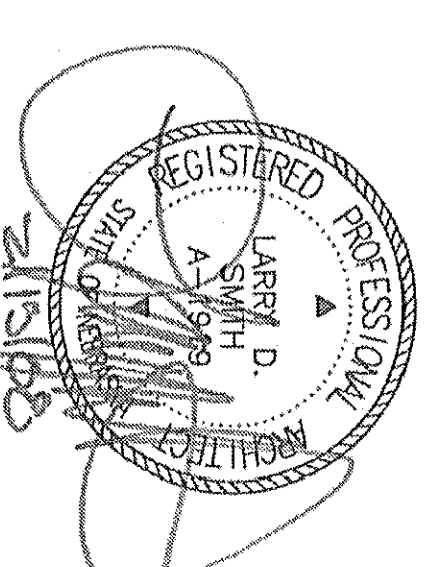
Lot 2 I-80 Business Park
6886 South 118th Street
Omaha, Nebraska



Project Number: 07-050
Date: February 15, 2008

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Date: February 15, 2008
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Revisions:



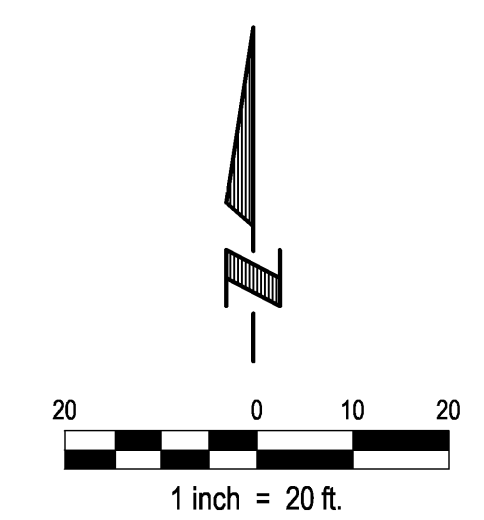
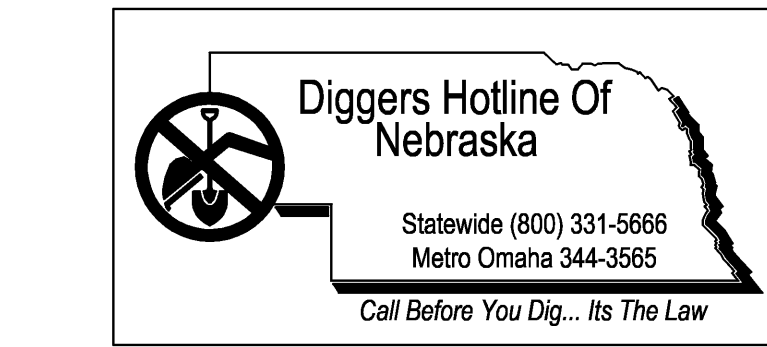
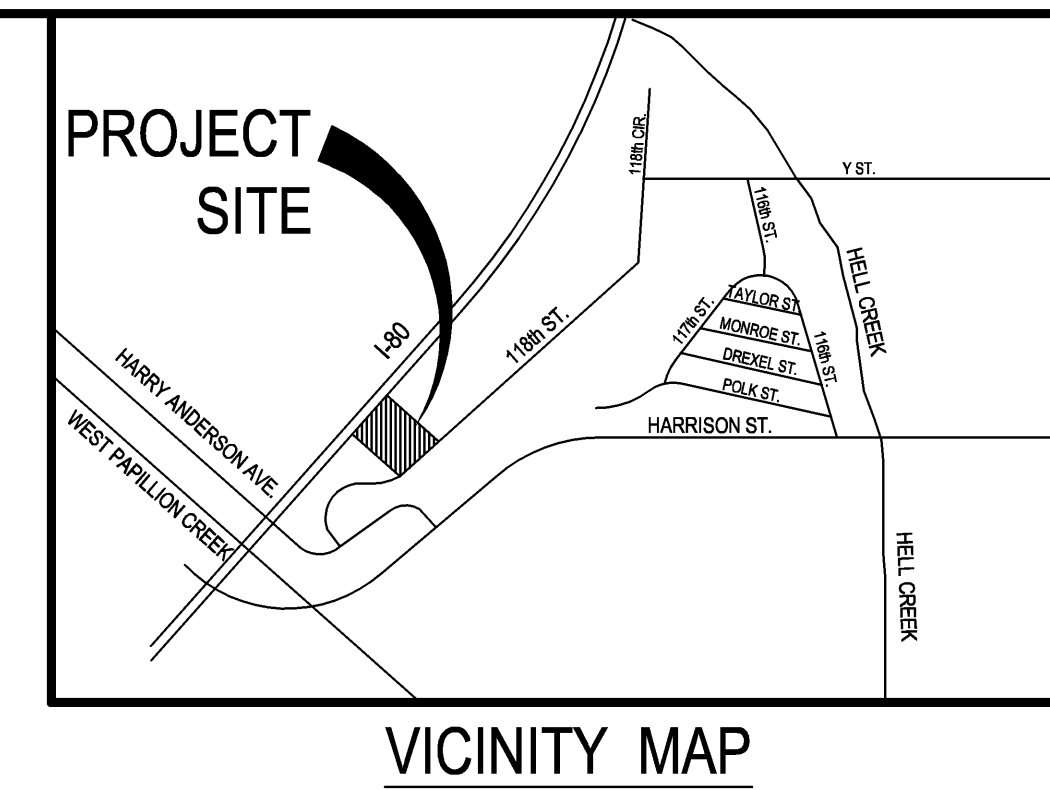
Sheet No.

CV

GRANITE TRANSFORMATIONS

Sediment & Erosion Control Plan

Located in Section 8, Township 14 North, Range 12 East, of the 6th P.M.
Douglas County, Nebraska



CIVIL INDEX OF SHEETS

SHEET No.	DESCRIPTION
C1	SEDIMENT & EROSION CONTROL PLAN
C2	SEDIMENT & EROSION CONTROL NOTES
C3	GRADING PLAN
C4	UTILITY PLAN
C5	PAVING & GEOMETRICS PLAN
C6	SITE NOTES & DETAILS

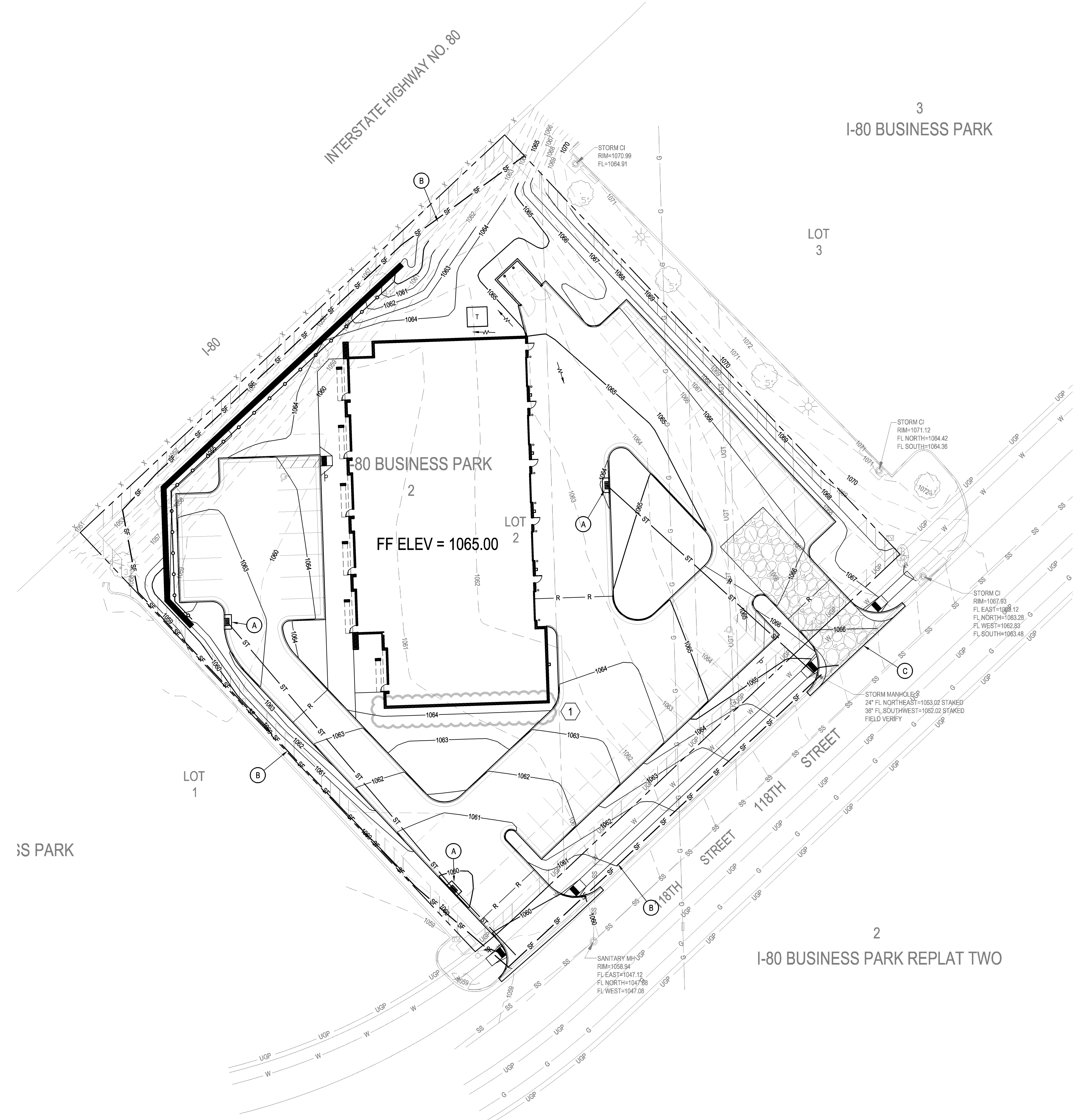
Construction Notes:

- (A) Install 6" Diameter Wattle Type Filter Around Throat of Curb Inlets.
- (B) Install Silt Fence, See Detail On Sheet C2.
- (C) Install Construction Entrance, See Detail On Sheet C2.

LEGEND

- SF Install Silt Fence
- R Ridge Line
- No Revision

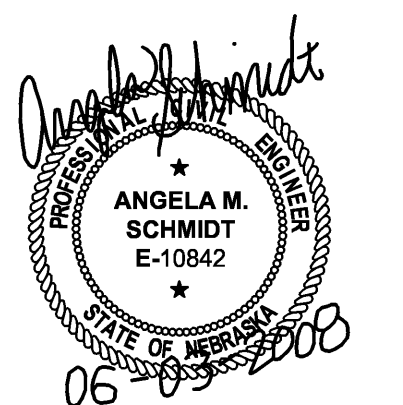
SITE ACREAGE:
TOTAL = 1.31 ACRES
DISTURBED = 1.31 ACRES



GRADING PLAN GENERAL NOTES

- All project procedures and materials shall conform to the following publication and any additions thereto: (a) Omaha Regional Stormwater Design Manual and The Supplemental BMP Guide. The aforementioned publications can be found at <http://www.PCWPErosionControl.org>.
- All OPERATORS/CONTRACTORS must comply with all noise and dust control ordinances.
- All OPERATORS/CONTRACTORS must locate all existing utilities prior to the start of work. (One Call 344-3565).
- Barricades shall conform to Omaha Public Works "Barricading Standards, Specifications, Methods & Materials", and/or the "Manual on Uniform Traffic Control Devices".
- All OPERATORS/CONTRACTORS shall be responsible to comply with OSHA regulations.
- All OPERATORS/CONTRACTORS must confirm with the APPLICANT that any and all governmental approvals have been received prior to the start of work.
- The APPLICANT, INSPECTOR must comply with all government regulators in regards to the construction activities so as to minimize the potential for erosion.
- All OPERATORS/CONTRACTORS must comply with the APPLICANT, INSPECTOR, and all government regulators in regards to the construction activities so as to minimize the potential for erosion and pollution.
- Each OPERATOR/CONTRACTOR must monitor Silt Fencing, within their areas of responsibility, and install additional silt fencing if necessary and as directed by the INSPECTOR.
- Each OPERATOR/CONTRACTOR shall periodically remove accumulated sediment from Temporary Sediment Traps, Temporary Sediment Basins, behind Silt Fences, and all other erosion control measures that store sediment, within their areas of responsibility, if necessary and as directed by the INSPECTOR.
- Each OPERATOR/CONTRACTOR shall build stabilized Construction Entrances, within their areas of responsibility and as defined within the SWPPP. Each OPERATOR/CONTRACTOR must monitor all Stabilized Construction Entrances, within their areas of responsibility, while maintaining the entrances as needed and as directed by the INSPECTOR. OPERATORS/CONTRACTORS shall not use any other access to the site or allow others to use alternate access points.
- Each OPERATOR/CONTRACTOR must perform preventative maintenance on each Best Management Practice (BMP), within their areas of responsibility, to ensure their function. The INSPECTOR must ensure preventative maintenance is being performed.
- All BMP's must be kept in working order. Each OPERATOR/CONTRACTOR must repair all damages caused by pollutant and construction activities, within their areas of responsibility, at or before the end of each working day and as directed by the INSPECTOR.
- BMP's may not be removed without INSPECTOR and applicable governmental approval
- Each OPERATOR/CONTRACTOR shall be responsible for adhering to all BMP's, within their areas of responsibility.
- In the event of a release of oil or hazardous substance, all OPERATORS/CONTRACTORS shall comply with the requirements of the Nebraska Department of Environmental Quality for notification, containment, investigation, remedial action and disposal.
- The APPLICANT, INSPECTOR, and CONTRACTORS/OPERATORS must ensure Temporary Diversion Dike and Temporary Fill Diversion are constructed as shown within the SWPPP and as necessary to properly control pollutant discharge. Temporary Diversion Dike and Temporary Fill Diversion shall be installed at the end of each working day, prior to all rain events, and as directed by the INSPECTOR.
- The APPLICANT, INSPECTOR, and/or OPERATORS/CONTRACTORS shall allow all government regulators access to the site for inspections at any time, at the implementing agency's discretion.
- The APPLICANT, INSPECTOR, and CONTRACTORS/OPERATORS must initiate stabilization measures, such as Temporary Seeding, Permanent Seeding, and/or Mulching, as soon as possible in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site have temporarily or permanently ceased. The Temporary Seeding (9.5.20), Permanent Seeding (9.5.21), and Mulching (9.5.23) BMP's presented within the Omaha Regional Stormwater Design Manual must be adhered to at all times. The aforementioned publications can be found at <http://www.PCWPErosionControl.org>.
- For Dust Control the APPLICANT, INSPECTOR, and CONTRACTORS/OPERATORS must use any of the following measures or a combination if necessary: establishing Temporary Seeding, Permanent Seeding, and/or Mulch in areas subject to little or no construction traffic; irrigating stripped areas and/or haul roads; reducing vehicular speed on haul roads; and as directed by the INSPECTOR. Furthermore, the Dust Control (9.5.17) BMP presented within the Omaha Regional Stormwater Design Manual must be adhered to at all times. The aforementioned publications can be found at <http://www.PCWPErosionControl.org>.
- The APPLICANT, INSPECTOR, and CONTRACTORS/OPERATORS must ensure sediment that has been accidentally transported onto public streets is removed as needed, at the end of each working day, and prior to all rain events. Sediment shall be shoveled and/or swept from the street and disposed of in a manner that prevents stormwater contamination. Furthermore, the Street Cleaning/Sweeping (SM-4) BMP presented within the Supplemental BMP Guide must be adhered to at all times. The aforementioned publications can be found at <http://www.PCWPErosionControl.org>.
- The APPLICANT, INSPECTOR, and CONTRACTORS/OPERATORS must adhere to all Good Housekeeping BMP's presented within the Supplemental BMP Guide. Good Housekeeping BMP's focus on keeping the work site clean and orderly while handling materials and waste in a manner that eliminates the potential for pollutant runoff. Good Housekeeping BMP's such as Sanitary Waste Management (SM-1), Solid Waste Management (SM-2), Material Delivery & Storage (SM-3), Street Cleaning/Sweeping (SM-4), and Vehicle & Equipment Fueling (SM-5) must be addressed when applicable. The aforementioned publications can be found at <http://www.PCWPErosionControl.org>.
- To better inform all concerned parties about the existence of the SWPPP, The APPLICANT, INSPECTOR, and CONTRACTORS/OPERATORS must ensure an easily visible and legible sign be prominently posted at conspicuous locations near all site entry points. All signs must be in conformance with the SWPPP Notification Sign (SM-6) presented within the Supplemental BMP Guide. The aforementioned publications can be found at <http://www.PCWPErosionControl.org>.
- The SWPPP documents (e.g., NDEQ-NPDES, SWPPP-SM, SWPPP-N, etc.) are essential and a requirement in one part is as binding as through occurring in all. The SWPPP documents are complementary. The documents describe and provide the complete SWPPP. The APPLICANT, INSPECTOR, and/or CONTRACTORS/OPERATORS may not take advantage of any SWPPP errors or omissions. The INSPECTOR shall notify the APPLICANT, DESIGNER, and CONTRACTORS/OPERATORS promptly of any omissions or errors. The APPLICANT shall instruct the DESIGNER to make any corrections necessary to fulfill the overall intent of the SWPPP Documents (e.g., Grading Permit Modification Form). In the case of a discrepancy between parts of the SWPPP documents, the most stringent requirement shall rule.

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Granite Transformations
I-80 Business Park
Omaha, Nebraska

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Date: February 15, 2008
Project No: 07-050
Revisions:
(1) 06/03/2008

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Sheet No. **C1**

MAINTENANCE SCHEDULE

The following Maintenance Schedule has been provided. The INSPECTOR must perform the Inspections. The OPERATOR/CONTRACTOR must perform all needed maintenance. Furthermore, all erosion control features requiring maintenance may not be listed below. The OPERATOR/CONTRACTOR and INSPECTOR must perform their respective duties on all BMP's that are not listed below as well.

- Construction Entrance** - The entrance shall be maintained in a condition which will prevent tracking or flow of sediment onto public rights-of-way. This may require periodic top dressing with additional stone or the washing and reworking of existing stone as conditions demand and repair and/or cleanout of any structures used to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately. The use of water trucks to remove materials dropped, washed, or tracked onto roadways will not be permitted under any circumstances.
- Straw Bale Barrier** - The maintenance measures are as follows: (2.1) straw bale barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall; (2.2) close attention shall be paid to the repair of damaged bales, end runs and undercutting beneath bales; (2.3) necessary repairs to barriers or replacement of bales shall be accomplished promptly; (2.4) sediment deposits shall be removed after each rainfall, they must be removed when the level of deposition reaches approximately one-half the height of the barrier; and (2.5) any sediment deposits remaining in place after the straw bale barrier is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Silt Fence** - The maintenance measures are as follows: (3.1) silt fences shall be inspected immediately after each rainfall and at least daily during prolonged rainfall, any required repairs shall be made immediately; (3.2) close attention shall be paid to the repair of damaged silt fence resulting from end runs and undercutting; (3.3) should the fabric on a silt fence decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly; (3.4) sediment deposits must be removed when the level of deposition reaches approximately one-half the height of the barrier; and (3.5) any sediment deposits remaining in place after the silt fence is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Storm Drain Inlet Protection** - The maintenance measures are as follows: (4.1) structures shall be inspected after each rain and repairs made as necessary and (4.2) structures shall be removed and the area stabilized when the remaining drainage area has been properly stabilized.
- Temporary Diversion Dike** - The measure shall be inspected after every storm and repairs made to the dike, flow channel, outlet or sediment trapping facility, as necessary. Once every two weeks, whether a storm event has occurred or not, the measure shall be inspected and repairs made if needed. Damages caused by construction traffic or other activity must be repaired before the end of each working day.
- Temporary Fill Diversion** - Since the practice is temporary and under most situations will be covered the next working day. The maintenance required should be low. If the practice is to remain in use for more than one day, an inspection shall be made at the end of each work day and repairs made to the measure if needed. The OPERATOR/CONTRACTOR should avoid the placement of any material over the structure while it is in use. Construction traffic should not be permitted to cross the diversion.
- Temporary Sediment Trap** - The maintenance measures are as follows: (7.1) sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to one half the design volume of the wet storage, sediment removal from the basin shall be deposited in a suitable area and in such a manner that it will not erode and cause sedimentation problems; (7.2) filter stone shall be regularly checked to ensure that filtration performance is maintained, stone choked with sediment shall be removed and cleaned or replaced; and (7.3) the structure should be checked regularly to ensure that it is structurally sound and has not been damaged by erosion or construction equipment, the height of the stone outlet should be checked to ensure that its center is at least 1 foot below the top of the embankment.
- Temporary Sediment Basin** - The basin embankment should be checked regularly to ensure that it is structurally sound and has not been damaged by erosion or construction equipment. The emergency spillway should be checked regularly to ensure that its lining is well established and erosion-resistant. The basin should be checked after each runoff producing rainfall for sediment cleanout and trash removal. When the sediment reaches the cleanout level, it shall be removed and properly disposed of.
- Temporary Seeding** - Areas which fail to establish vegetative cover adequate to prevent fill erosion will be re-seeded as soon as such areas are identified. Control weeds by mowing.
- Permanent Seeding** - The maintenance measures are as follows: (10.1) in general, a stand of vegetation cannot be determined to be fully established until it has been maintained for one full year after planting; (10.2) new seedlings shall be supplied with adequate moisture, supply water as needed, especially late in the season, in abnormally hot or dry conditions, or on adverse sites, water applications shall be controlled to prevent excessive runoff; (10.3) inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season, if possible; [10.3a] if stand is inadequate for erosion control, over seed and fertilize using half of the rates originally specified; [10.3b] if stand is 60% damaged, re-establish following seedbed and seeding recommendations; [10.3c] if stand has less than 40% cover, re-evaluate choice of plant materials and quantities of lime and fertilizer, the soil must be tested to determine if acidity or nutrient imbalances are responsible, re-establish the stand following seedbed and seeding recommendations.
- Mulching** - All mulches and soil coverings should be inspected periodically (particularly after rainstorms) to check for erosion. Where erosion is observed in mulched areas, additional mulch should be applied. Nets and mats should be inspected after rainstorms for dislocation or failure. If washouts or breakage occur, reinstall netting or matting as necessary after repairing damage to the slope or ditch. Inspectors should take place until grasses are firmly established. Where mulch is used in conjunction with ornamental plantings, inspect periodically throughout the year to determine if mulch is maintaining coverage of the soil surface; repair as needed.
- Soil Stabilization Blankets & Matting** - All soil stabilization blankets and matting should be inspected periodically following installation, particularly after rainstorms to check for erosion and undermining. Any dislocation or failure should be repaired immediately. If washouts or breakage occurs, reinstall the material after repairing damage to the slope or ditch. Continue to monitor these areas until which time they become permanently stabilized; at that time an annual inspection should be adequate.
- Street Cleaning/Sweeping** - The maintenance measures are as follows: (13.1) evaluate access points daily for sediment tracking; (13.2) when tracked or spilled sediment is found on paved surfaces, it will be removed daily, during times of heavy track-out such as during rains, cleaning may be done several times throughout the day; (13.3) unknown spills or objects will not be mixed with the sediment; and (13.4) if sediment is mixed with other pollutants, it will be disposed of properly at an authorized landfill.

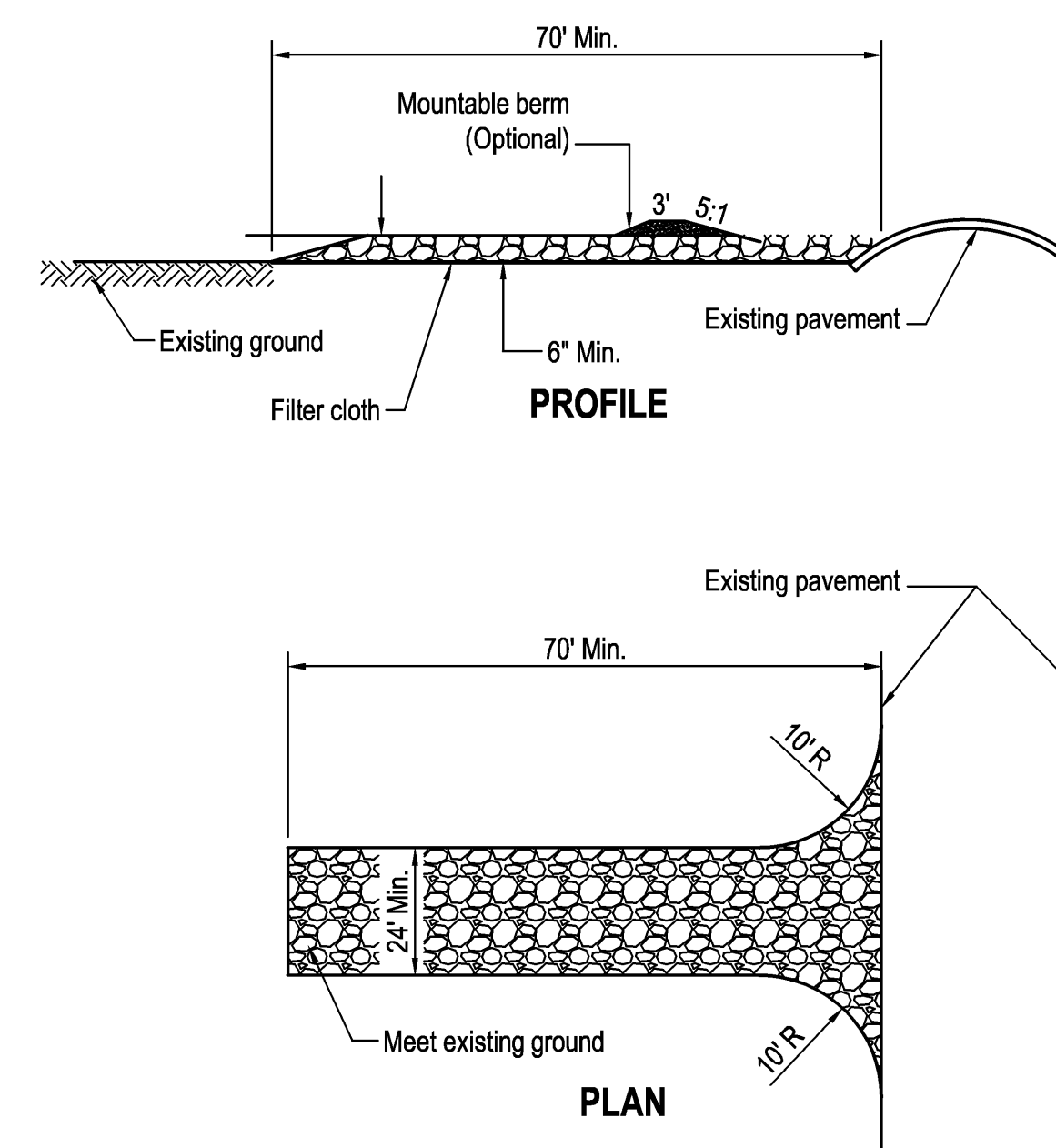
STANDARD DETAILS

FIGURE	NAME	LOCATION
9.5.2	Construction Entrance	Omaha Regional Stormwater Design Manual
9.5.4	Straw Bale Barrier	Omaha Regional Stormwater Design Manual
9.5.5	Silt Fence	Omaha Regional Stormwater Design Manual
9.5.6	Storm Drain Inlet Protection	Omaha Regional Stormwater Design Manual
9.5.8	Temporary Diversion Dike	Omaha Regional Stormwater Design Manual
9.5.9	Temporary Fill Diversion	Omaha Regional Stormwater Design Manual
9.5.15	Temporary Sediment Trap	Omaha Regional Stormwater Design Manual
9.5.16	Temporary Sediment Basin	Omaha Regional Stormwater Design Manual
9.5.17	Dust Control	Omaha Regional Stormwater Design Manual
9.5.20	Temporary Seeding	Omaha Regional Stormwater Design Manual
9.5.21	Permanent Seeding	Omaha Regional Stormwater Design Manual
9.5.23	Mulching	Omaha Regional Stormwater Design Manual
9.5.24	Soil Stabilization Blankets & Matting	Omaha Regional Stormwater Design Manual
SM-1	Sanitary Waste Management	Supplemental BMP Guide
SM-2	Solid Waste Management	Supplemental BMP Guide
SM-3	Material Delivery And Storage	Supplemental BMP Guide
SM-4	Street Cleaning/Sweeping	Supplemental BMP Guide
SM-5	Vehicle And Equipment Fueling	Supplemental BMP Guide
SM-6	SWPPP Notification Sign	Supplemental BMP Guide

The Omaha Regional Stormwater Design Manual and Supplemental BMP Guide can be found at <http://www.PCWP/ErosionControl.org>.

CONSTRUCTION ACTIVITIES & SCHEDULING

ACTIVITY	SCHEDULE
Install all BMP's needed and associated with the Grading Phase such as stabilized construction entrances, silt basins, riser pipes, outlet pipes, silt traps, silt fence, diversions, terraces, etc...	Prior to any stripping of existing vegetation or grading.
Proceed with stripping of existing vegetation and grading in accordance with the grading plan, while disturbing no more than is necessary.	After installing all BMP's needed and associated with the *Grading Phase. Furthermore, INSPECTOR approval must be obtained before the start of any stripping of existing vegetation or grading.
Proceed with infrastructure installation.	Infrastructure installation must occur prior to any lot development.
Implement the installation of Temporary Seeding, Permanent Seeding, and/or Mulching.	Stabilization measures must be initiated as soon as possible in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
Implement the Installation all BMP's needed and associated with the Building Phase.	Building Phase BMP's must be installed concurrently with lot development.
Proceed with removal of BMP's.	BMP's may not be removed until each impacted drainage basin has been fully developed. Full development shall mean installation of pavement, buildings, and utilities, landscaping, and fully established permanent seeding. Furthermore, INSPECTOR approval must be obtained before the removal of any BMP's. *Building Phase Site Map Included in Grading Phase Site Map.



- NOTE:
- The stone size shall be 2" diameter or a reclaimed broken concrete equivalent.
 - Contractor to construct the road to the length required but not less than 70'.
 - The thickness of the stone shall be 6".
 - The width of the construction entrance shall be 24' minimum, but in no case less than the full width at points where ingress and egress occurs.
 - Filter Cloth will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 - All surface runoff flowing or diverted towards the construction entrance shall be piped across the entrance. If piping is impractical, a mountable berm with 5H:1V will be permitted.
 - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, tracked, or washed onto public rights-of-way must be removed immediately.
 - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain.

**STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE**

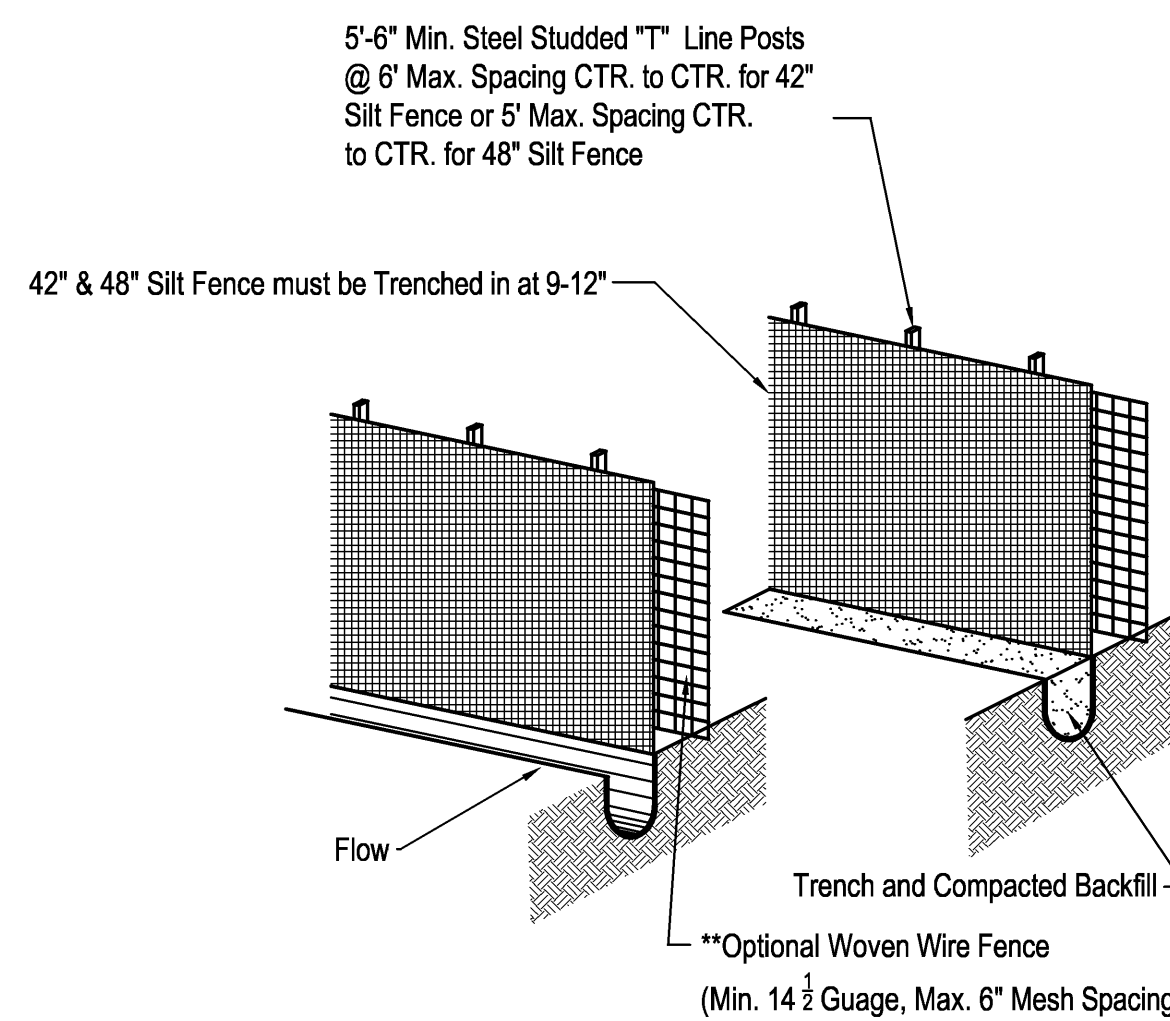
SITE INFORMATION			
03/01/2008	OMA20080220-757-2		
Estimated Start Date	PCWP Project Number	NDEQ NOI Number	
Granite Transformations	6860 South 118th Street	Address	
Project Name			
Lot 2, I-80 Business Park	436	Omaha	Douglas
Subdivision Name	S & ID #	City	County
41° 11' 29"	96° 05' 54"	NE	68137
Latitude	Longitude	State	Zip Code
Total Site Area (Acres)	1.31	Estimated Permit Duration (Months)	12
Disturbed Area (Acres)	1.31	Cut Volume (yd ³)	171*
Undisturbed Area (Acres)	0.0	Fill Volume (yd ³)	4911*
Impervious Area Before Construction (%)	0%	Runoff Coefficient Before Construction	0.45
Impervious Area After Construction (%)	73%	Runoff Coefficient After Construction	0.82

* Note: Cut and Fill Volumes for Information Only, Not for Bidding Purposes.

APPLICANT SWPPP CERTIFICATION			
Bluejay Holdings, LLC	perry@pjkwpce.com	(402) 861-1900	
Business Name	Representative's Email Address	Phone Number	
Perry Wiseman	10008 Sapp Brothers Drive		
Representative's Name	Address	Fax Number	
	Omaha	Nebraska	68138
Project # Assigned by Applicant	City	State	Zip Code
DESIGNER		INSPECTOR	
E&A Consulting Group, Inc.	Angela Schmidt	E&A Consulting Group, Inc.	Zach Jilek
Business Name	Representative's Name	Business Name	Representative's Name
330 N. 117th Street	aschmidt@eaag.com	330 N. 117th Street	zjilek@eaag.com
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City, State, & Zip Code	Project # Assigned by Designer	City, State, & Zip Code	Project # Assigned by Designer
(402) 895-4700	(402) 895-3599	(402) 895-4700	(402) 895-3599
Phone Number	Fax Number	Phone Number	Fax Number

I hereby agree to act as APPLICANT in association with this SWPPP. Furthermore, I certify under penalty of law the following: (1) that, this document and all supporting information has been prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted; (2) that, I understand and agree to abide by the terms and conditions contained within this Storm Water Pollution Prevention Plan - Narrative (SWPPP-N), and the PCWP Grading Map (SWPPP-SM), the associated Storm Water Pollution Prevention Plan - Narrative (SWPPP-N), and the PCWP Grading Permit Terms (<http://www.PCWP/ErosionControl.org>); (3) that, to the best of my knowledge and belief information contained in this SWPPP is true, complete, and accurate; (4) that, the SWPPP has been represented and warranted to conform to all applicable Standards, Criteria, Ordinances, Laws, Rules, and Regulations enacted by the - [a] PCWP and its Members, [b] Douglas County, [c] Sarpy County, [d] State of Nebraska, and [e] United States Federal Government; (5) that, sound and established practices were used for the creation of this SWPPP; (6) that, I am obligated to ensure inspection, reporting, and maintenance requirements occur under the terms of this SWPPP; (7) that, this SWPPP will be implemented as the first element of construction; (8) that, I shall indemnify and save harmless the PCWP, its Members, Officers, Agents and Employees from all claims and demands of every nature and description growing out of the implementation of this SWPPP, including personal injuries received and all property damage sustained; (9) that, I will retain the services of the aforementioned DESIGNER and INSPECTOR, to perform all design and inspection duties associated with this SWPPP, through a contractual agreement for the life of the SWPPP; and (10) that, corrections of defects and deficiencies in design, construction, inspection, implementation, and testing shall be without expense to the PCWP and its Members, Officers, Agents and Employees and shall be my obligations while acting as APPLICANT.

APPLICANT'S Signature _____ Date _____



**SILT FENCE
NOT TO SCALE**

- NOTES:
- Acceptable silt fence specifications- ACS (#20 - 50 Sieve), Water Flow Rate (70 gpm/ sq. ft. or greater), Tensile Strength (Grab) - (Min. 120 Warp or greater) and Elongation (5-25%).
 - On each new run of silt fence spray paint the beginning of the run with 0+00 and spray paint the end with the date of installation and LF of the run.
 - Silt fence should be securely fastened to each steel support post or to woven wire which is in turn attached to the steel fence posts. A minimum of 3 ties are required for each post. To be located in the top 12" of the silt fence.
 - Steel posts which support the silt fence shall be installed on a slight angle toward the anticipated runoff source. (Incline all posts 20" Max. from vertical, toward flow)
 - Silt fence shall be trenching in with a mechanical trencher or silt fence plow so that the downslope face of the trench is flat and perpendicular to the line of flow.
 - The trench should be a minimum of 6" deep and 3-4" wide to allow for the silt fence to be laid in the ground and compacted backfilled can be placed.
 - Silt fence installed with a mechanical trencher shall have metal pins with 6" leg x 1" throats placed at 1'-0" centers in trench before it is backfilled and compacted.
 - Silt Fence that is trenching in shall be a minimum of 9" deep; trench shall be backfilled and compacted. Compaction can be tested at engineers/inspectors discretion; and shall meet a 85% Standard and moisture requirements as needed for compaction. Contractor is required to pay for falling test and recompaction fence.
 - Silt fence shall be removed when it has served its usefulness so as not to block or impede storm flow or drainage.
 - Sediment trapped by this practice shall be uniformly distributed on the source area prior to topsoiling.

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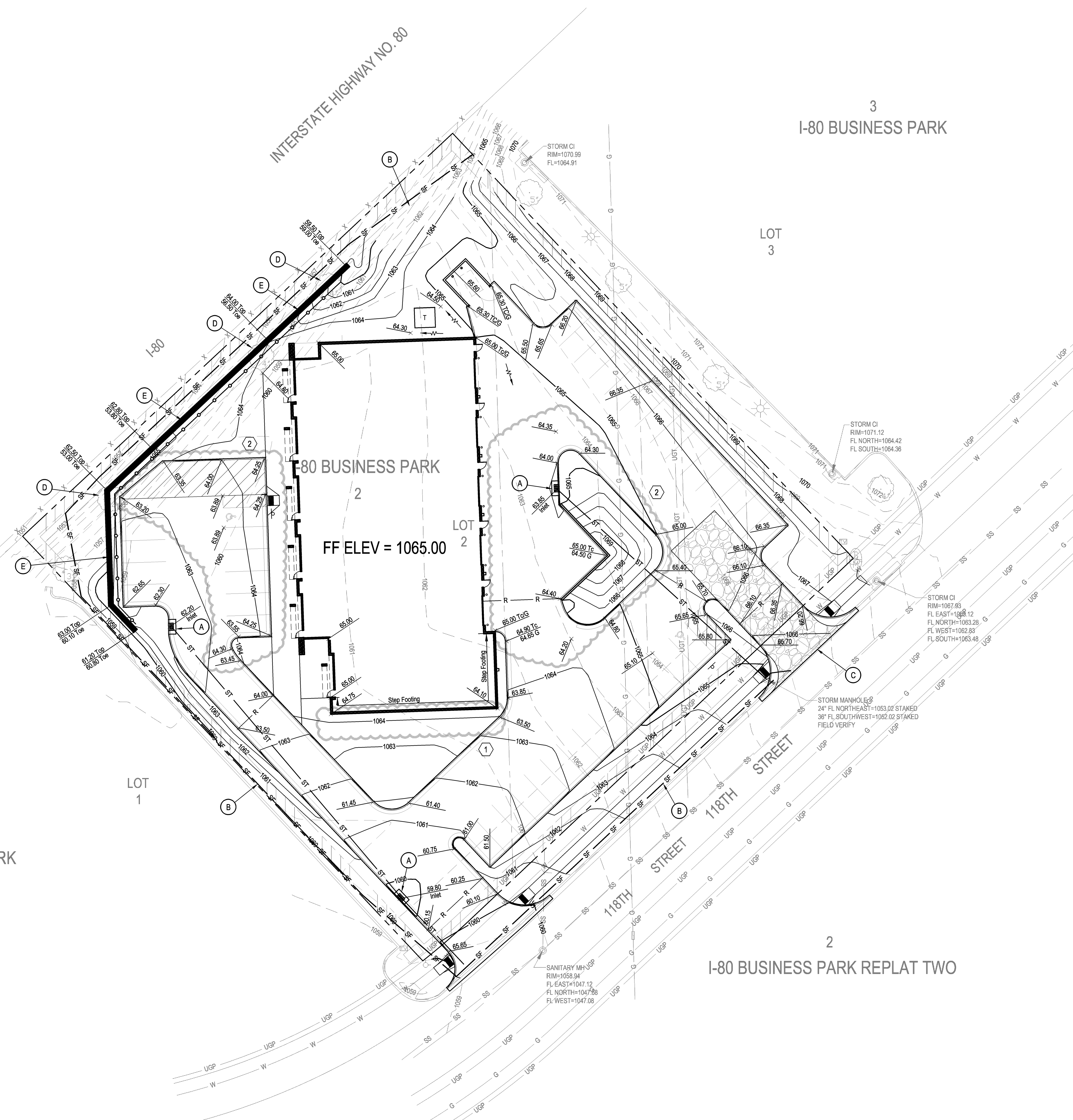
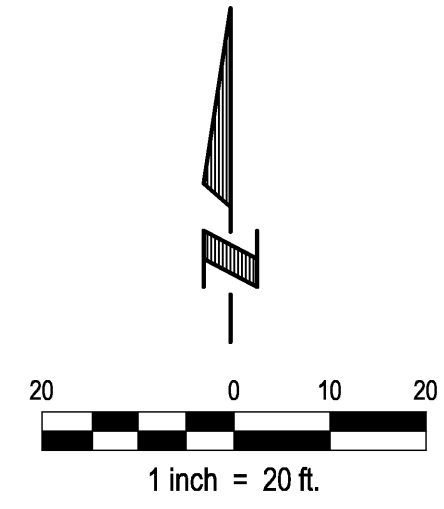
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Revisions:

avant architects
planning architecture interiors

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Sheet No. **C2**



Construction Notes:

- (A) Install 6" Diameter Wattle Type Filter Around Throat of Curb Inlets.
- (B) Install Silt Fence, See Detail On Sheet C2.
- (C) Install Construction Entrance, See Detail On Sheet C2.
- (D) Remove Tree and Associated Root System.
- (E) Construct Segmental Block Retaining Wall. Coordinate Size, Style, and Color of Block with Architect Prior to Bidding. Contractor Shall Provide Signed and Sealed Retaining Wall Plans to Architect Prior to Construction. See Detail On Sheet C6.

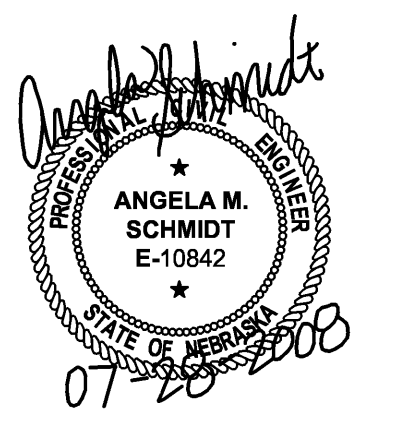
NOTE:

1. See Geotechnical Report for Overexcavation Recommendations Beneath Proposed Floor Slab. See Sheet C6 for Geotechnical Report Reference.
2. All Elevations Shown Are Top of Slab Elevations, Unless Called Out as (TC) Top of Curb or (G) Gutter. Add 0.5' to Slab Elevations to Obtain Top of Curb Elevations.

LEGEND

- SF — Install Silt Fence
- R — Ridge Line
- (No) Revision

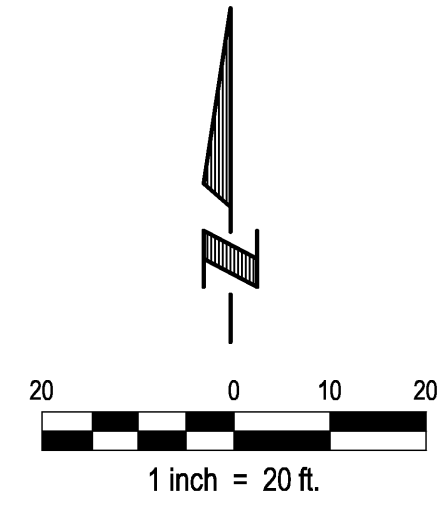
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Granite Transformations
 I-80 Business Park
 Omaha, Nebraska

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 Project No: 07-050
 Revisions:
 (1) 06/03/2008
 (2) 07/25/2008

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INTERSTATE HIGHWAY NO. 80

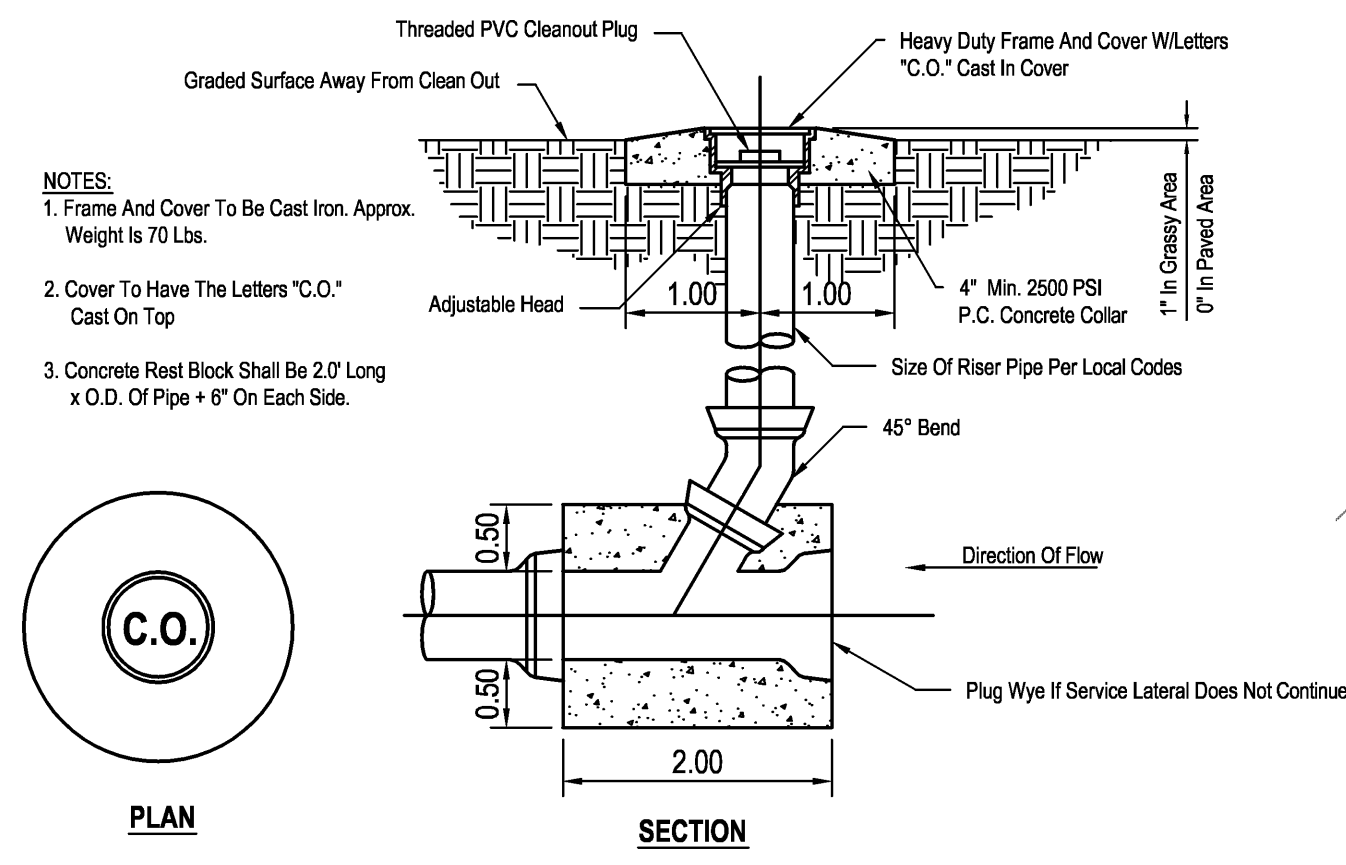
3
I-80 BUSINESS PARK

LOT 3

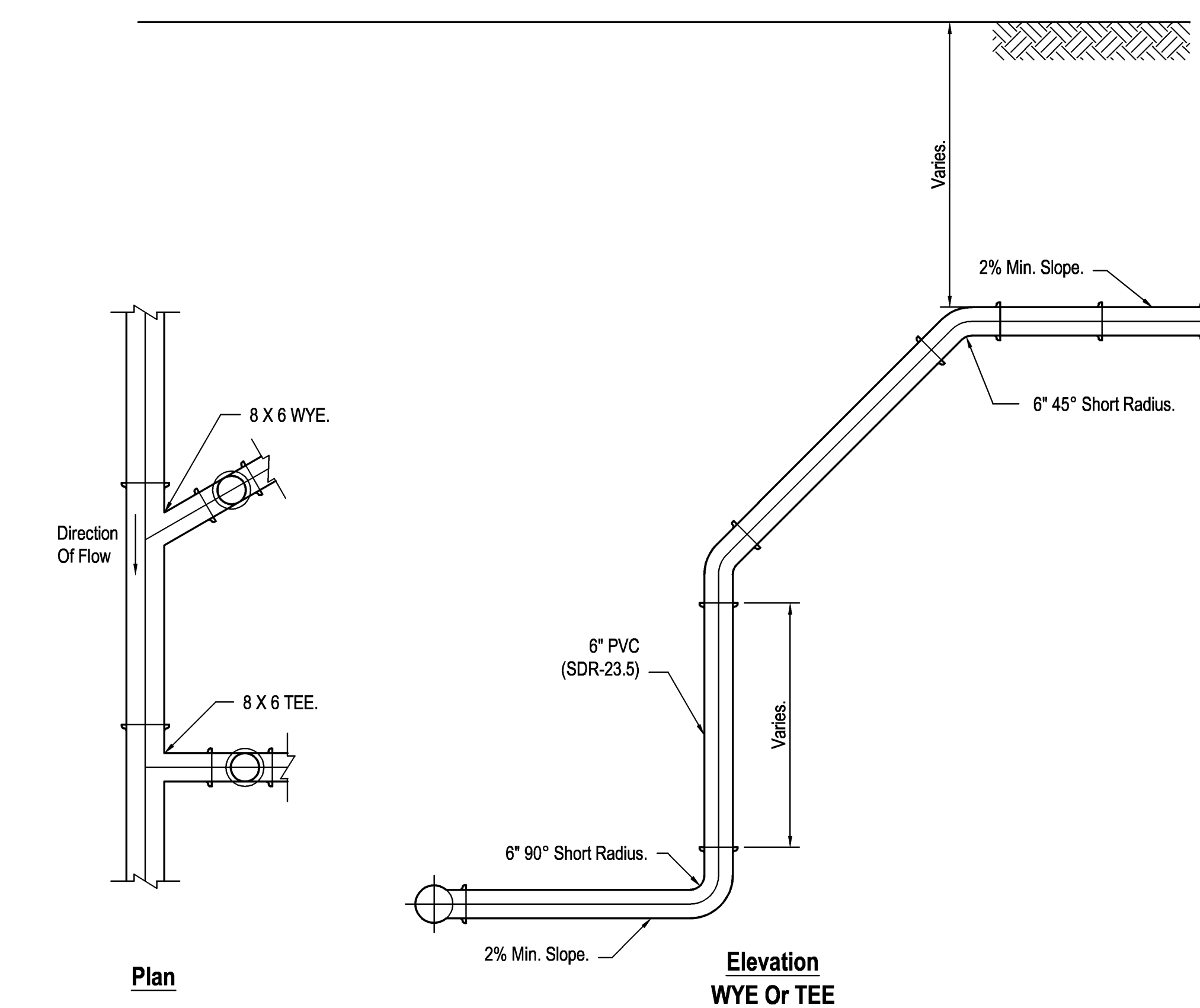
I-80 BUSINESS PARK

FF ELEV = 1065.00

LOT 2



SEWER CLEANOUT DETAIL
NOT TO SCALE



Sanitary Sewer Service Line Riser
NOT TO SCALE

LOT 1

2
I-80 BUSINESS PARK REPLAT TWO

Construction Notes:

- (A) 6" Sanitary Sewer Service, I.E. = 1060.00. See Mechanical Plan for Continuation.
- (B) Construct 6" Sanitary Sewer Service, 83.00 LF @ 2.0000% Min. Slope.
- (C) Construct Sanitary Sewer Cleanout, See Detail On This Sheet.
- (D) Connect to Existing Sanitary Sewer Stub Out. Field Verify Location and Depth of Existing Sanitary Sewer Prior to Construction.
- (E) 2" Water Service, I.E. = 1060.00. See Mechanical Plan for Continuation.
- (F) Construct 2" Domestic Water Service, 55.70 LF.
- (G) Tapping Sleeve and Valve By MUD. Contractor to Coordinate with MUD Prior to Construction. Contractor to Expose Existing Water Main, Field Verify Existing Location and Depth.
- (H) Connect to Existing Storm Sewer Manhole. Ex. 24" FL = 1053.02. Ex. 36" FL = 1052.02, Field Verify Depth and Location Prior to Construction. Prop. 12" FL = 1055.00.
- (I) Connect to Existing Storm Sewer Pipe. Ex. 36" FL = 1051.14, Field Verify Depth and Location Prior to Construction. Prop. 15" FL = 1052.50.
- (J) Field Verify Existing Utility Elevations Prior to Storm Sewer Construction.

Construct ADS Road & Highway
Curb Inlet w/ 2x3' Grate
(See Detail On Sheet C6)

- 1 Top of Curb = 1064.35
Grate = 1063.85
12" FL = 1060.85
- 2 Top of Curb = 1062.70
Grate = 1062.20
10" FL = 1059.20
- 3 Top of Curb = 1060.30
Grate = 1059.80
10" FL = 1056.80
12" FL = 1056.60

Construct Storm Sewer Pipe

- (1) 12" Pipe, 115.74 LF @ 5.0544%
- (2) 10" Pipe, 144.46 LF @ 1.6614%
- (3) 12" Pipe, 37.30 LF @ 10.9920%

LEGEND

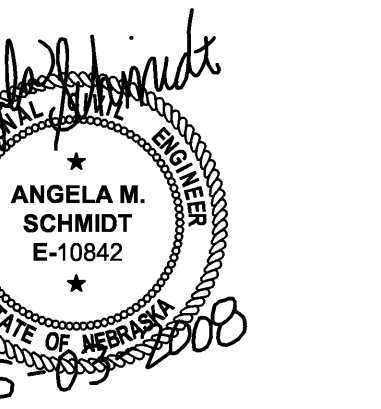


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(1) 06/03/2008

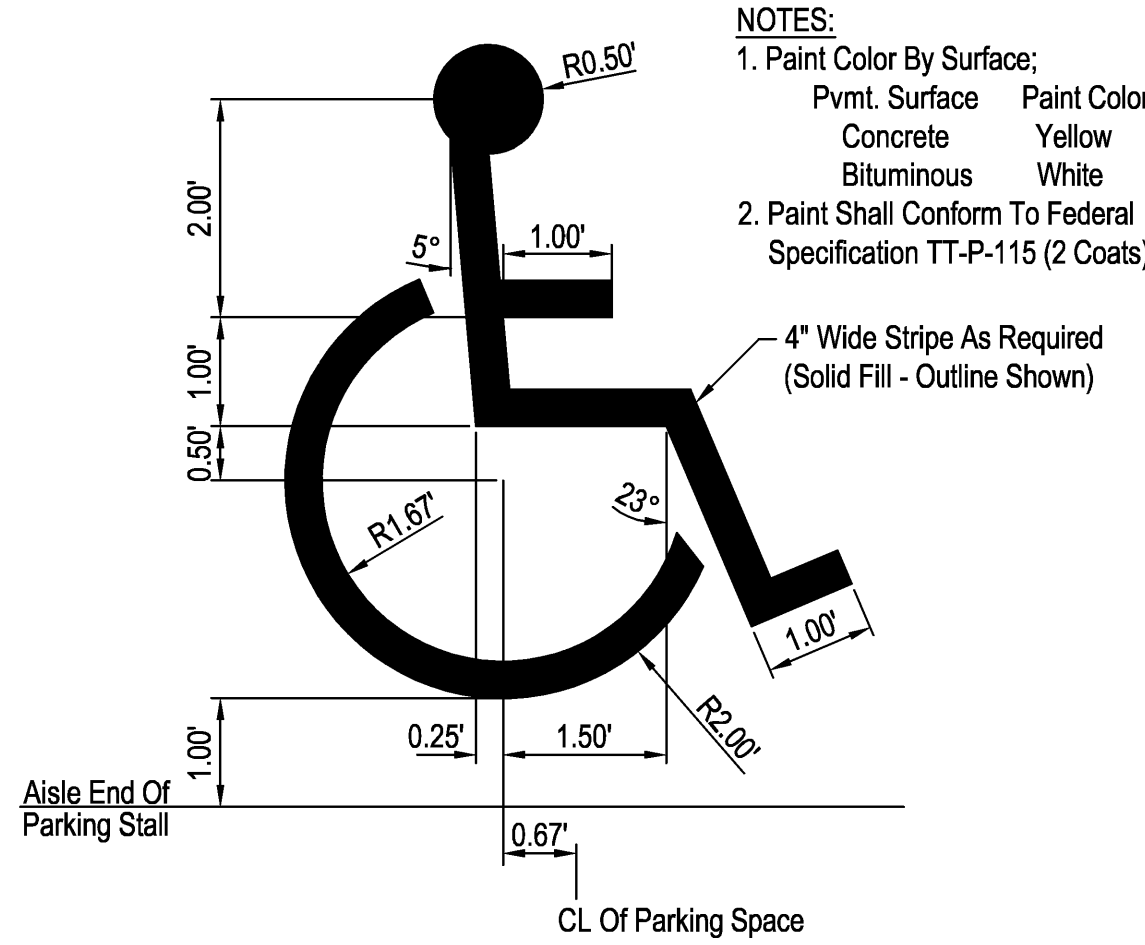
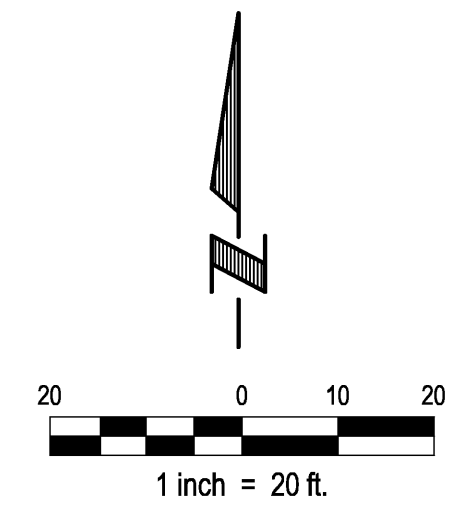
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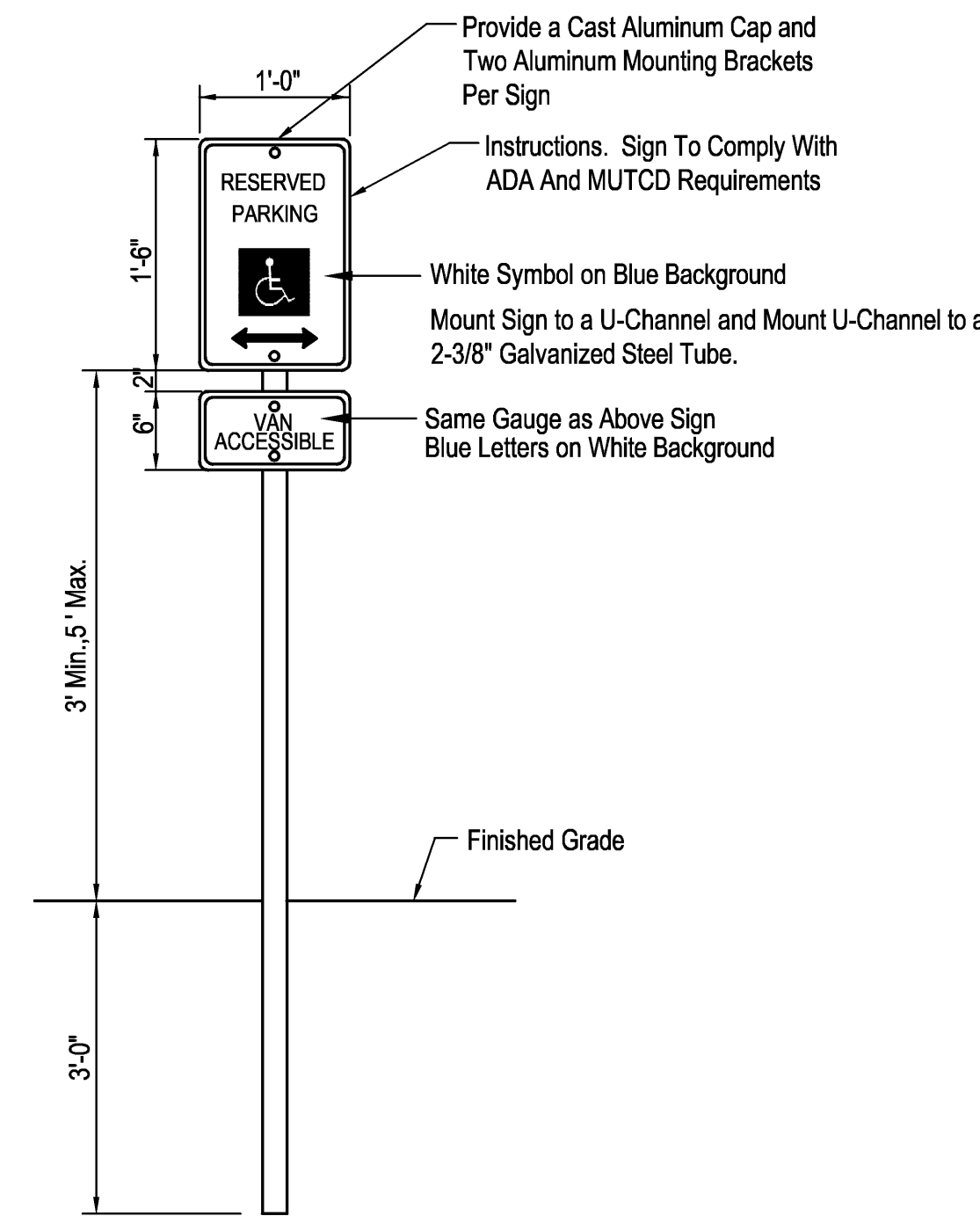
Sheet No.

C4

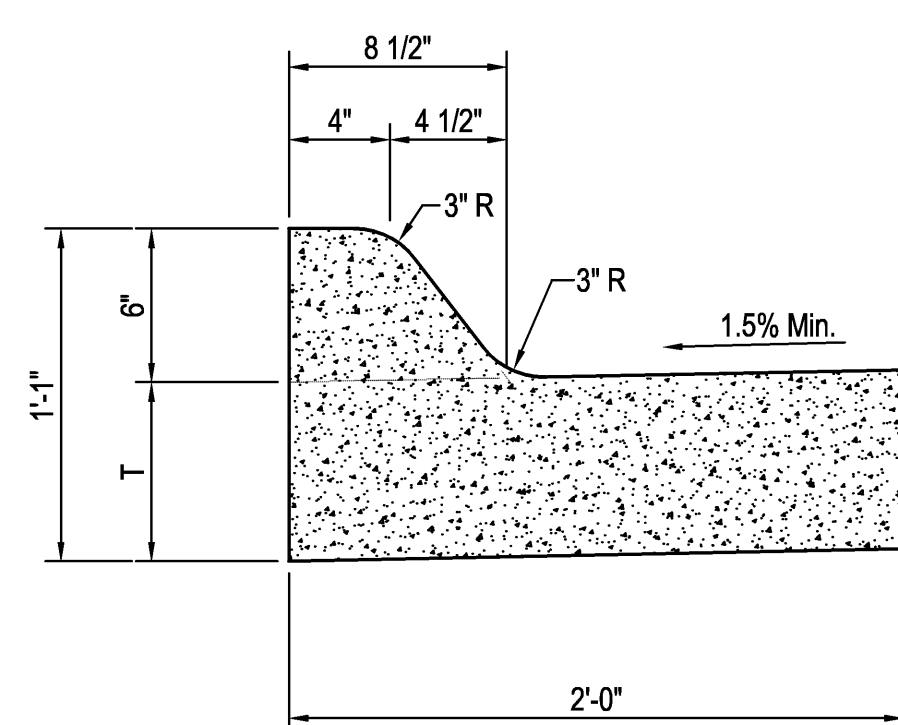
Utility Plan



DISABLED SYMBOL STENCIL DETAIL
NOT TO SCALE



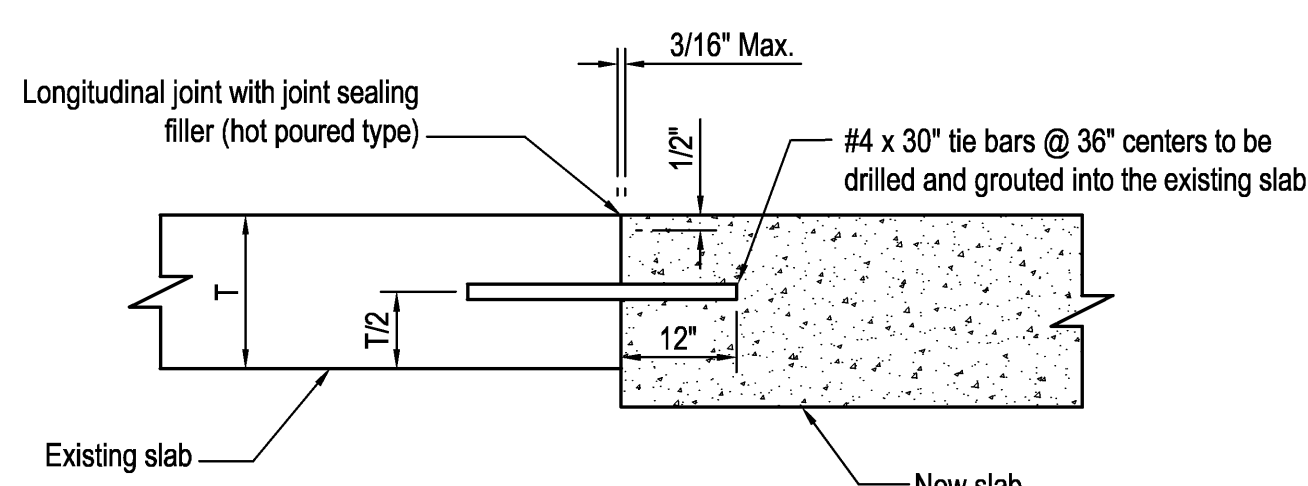
HANDICAP PARKING SIGN
NOT TO SCALE



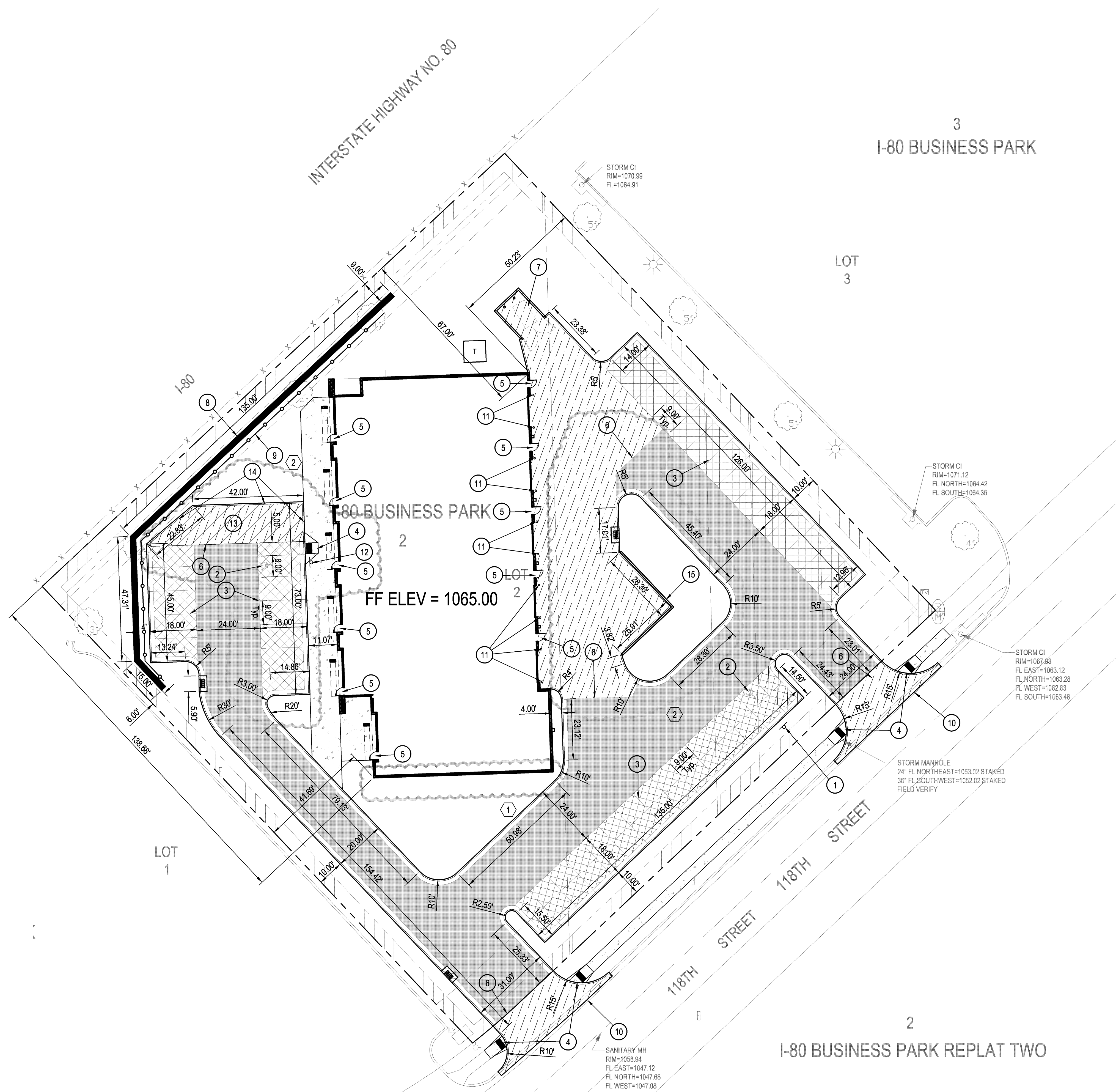
NOTES

1. Integral curb and combination curb and gutter construction shall conform to Section 502 of the Standard Specifications.

COMBINATION CURB AND GUTTER
NOT TO SCALE



TIE BAR DETAIL
NOT TO SCALE



Construction Notes:

- 1 Install Van Accessible Handicap Sign, See Detail On This Sheet.
- 2 Painted Handicap Symbol, See Detail On This Sheet.
- 3 4" White Parking Lot Striping (Typ.)
- 4 Construct Curb Ramp, See Detail On Sheet C6.
- 5 Construct Frost Sloop, See Structural Plans for Details.
- 6 Construct Thickened Edge, See Detail On Sheet C6.
- 7 Dumpster Location, See Architectural Plans for Details.
- 8 Construct Segmental Block Retaining Wall. Coordinate Size, Style, and Color of Block with Architect Prior to Bidding. Contractor Shall Provide Signed and Sealed Retaining Wall Plans to Architect Prior to Construction. See Detail On Sheet C6.
- 9 Construct 4" Black Vinyl Steel Chain Link Fence On Top of Retaining Wall, See Detail On Sheet C6. Coordinate Post Locations With Retaining Wall Installation to Avoid Damage to Geosynthetic Reinforcement.
- 10 Construct Tie-Bar Connection, See Detail On This Sheet.
- 11 Construct Bollards, See Architectural Plans for Details.
- 12 Install Handicap Sign Without Van Accessible Sign, See Detail On This Sheet.
- 13 4" Red Fire Lane Striping (Typ.)
- 14 Paint Red Letters 4" In Height with the Words, "Fire Lane No Parking".
- 15 Screen Wall, See Structural Plan for Details.

LEGEND

- Construct 7" PCC Pavement with Integral Curb & Gutter. See Detail On Sheet C6.
- Construct 6" Asphalt Pavement with Combination Curb & Gutter. See Detail On Sheet C6.
- Construct 6" Asphalt Pavement with Combination Curb & Gutter. See Detail On Sheet C6.
- Construct 4" PCC Sidewalk
- Construct Combination Curb & Gutter. See Detail On This Sheet.
- Revision

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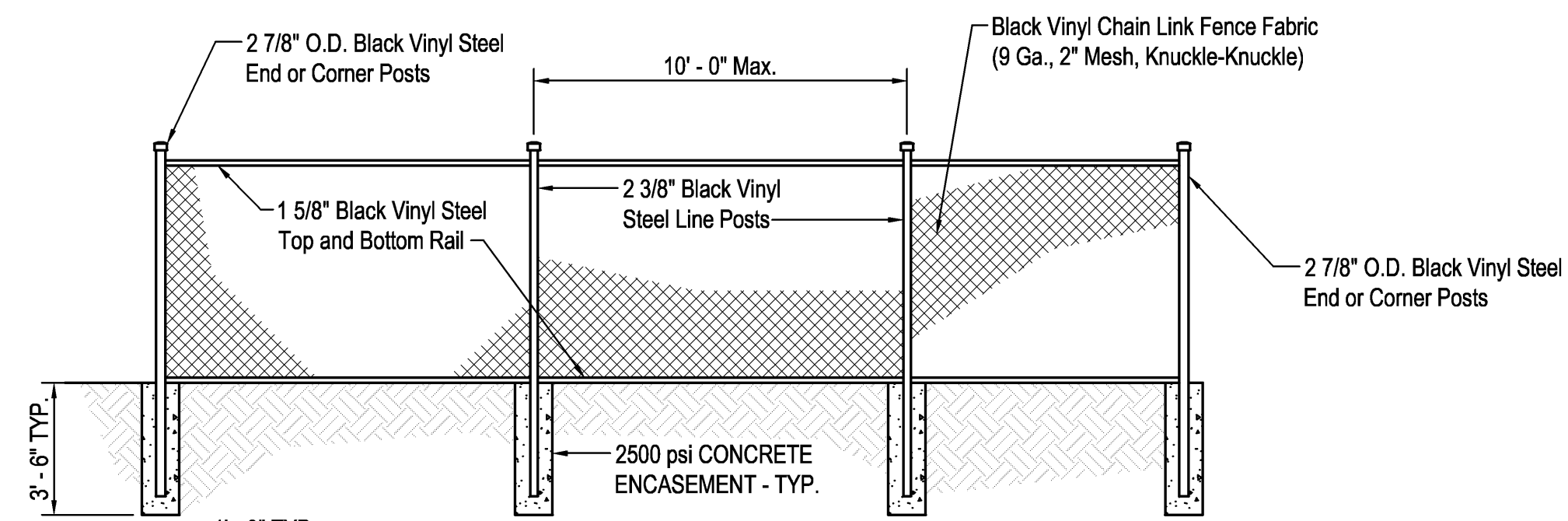
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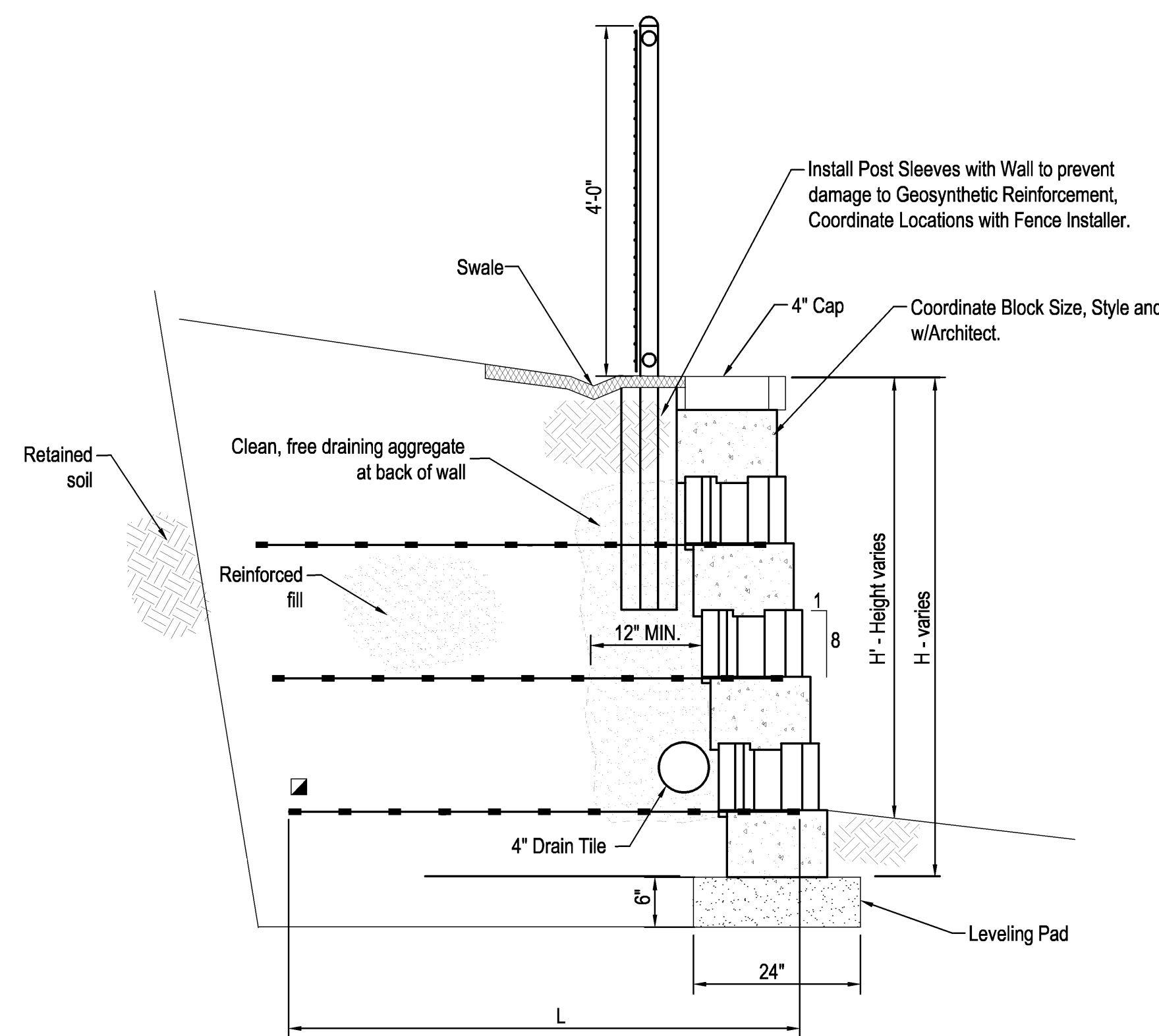
GENERAL SITE CONSTRUCTION NOTES

- The City of Omaha Standard Specifications for Public Works Construction, 2003 Edition and any current revisions or amendments thereto and the Special Provisions for this Project shall apply and the Contractor shall perform in accord therewith.
- The Contractor shall check with the Owner for City approval of the project before starting work.
- Inspection during construction will be paid for by the Owner.
- The Portland Cement Concrete for the pavement slab shall be "FL-65" air-entrained, in accord with the Standard Specifications. Type IP cement is not permitted for use.
- The proposed grades shown in the paved area refer to finished top-of-pavement slab grade, unless otherwise indicated. Top-of-curb, where specified, shown as TC = 00.00.
- The Contractor is hereby referred to Subsection 104.07 of the Standard Specifications relative to cleaning of the work area. The final estimate will not be processed until the Contractor has satisfactorily cleaned and flushed the pavement slab of all rubbish, excess material, mud and debris, and all parts of the work area have been left in a neat and presentable manner.
- Utilities are shown as a convenience for the Contractor. The locations of all aerial and underground utility facilities may not be indicated in these plans. Underground utilities, whether indicated or not, will be located and flagged by the utility companies at the Contractor's request. No excavation will be permitted in the area of the underground utilities until all facilities have been located and identified to the satisfaction of all parties and then only with extreme care to avoid any possibility of damages to the facilities.
- Non-colored concrete pavement shall be cured using a white pigmented liquid membrane-forming curing compound that has been approved by the State of Nebraska Department of Roads. The minimum rate of application shall be 200 sq. ft. per gal. If a mechanical-powered sprayer is used and 100 sq. ft. per gal. If a hand powered sprayer is used.
- Water reducing admixtures shall be added to all hand-placed and finished concrete.
- A diamond edge saw blade shall be used for cutting all required contraction and longitudinal pavement joints. All saw cuts required shall be subsidiary to items for which direct payment is made.
- Erosion control improvements shall be constructed on this site, including inlet protection, silt fencing, and a construction entrance. The Contractor shall be responsible for prompt reconstruction of any erosion control improvements disturbed by his operations. All disturbed erosion control improvements shall be fully reconstructed at the end of each working day prior to leaving the site. Separate payment will not be made for reconstruction of any erosion control improvements and this work shall be considered subsidiary to those items for which payment is made. Positive drainages in all work areas shall be maintained in the condition the construction site was in prior to Contractors arrival.
- The 6 inch (Solid Wall) sanitary sewer pipe may be ABS (SDR 23.5) or PVC (SDR 23.5)
- The following storm sewer pipe materials may be used:
 - Reinforced concrete pipe (RCP), conforming to ASTM C78 (Class III unless otherwise indicated). Materials and installation shall conform to City of Omaha Standard Specifications.
 - PVC Pipe with smooth interior and corrugated exterior, such as Contech A-2000, or equal. Pipe and fittings shall conform to ASTM F949. Installation shall conform to ASTM D 2321. Gasketed joints shall be used, and shall show no leakage when tested in accordance with ASTM D 3212.
 - PVC Pipe, SDR-35, in accordance with ASTM D 3034. Installation shall conform to ASTM D 2321. Gasketed joints shall be used, and shall show no leakage when tested in accordance with ASTM D 3212.
 - Polyethylene pipe, with smooth interior and corrugated exterior, such as ADS N-12, Hancor HI-Q, or equal. Pipe and fittings shall conform to AASHTO M-252 and M-294. Installation shall conform to ASTM D 2321. Joints shall be made with split couplings, corrugated to engage the pipe corrugations, and shall engage a minimum of two corrugations on each side of the pipe joint. A neoprene gasket, per the manufacturer's recommendations, shall be used for all joints to ensure a soil-tight connection. Class IV Soils Shall Not Be Used for Bedding or Backfill of N-12 Pipe.
- A Geotechnical Exploration Report has been prepared for this project and is incorporated herein by reference. All recommendations of said report shall be followed in all phases of construction. See "Geotechnical Exploration Report, Lot 2, I-80 Business Park, 6886 South 118th Street, Omaha, Nebraska" prepared by Thiele Geotech, Inc. Project No. 08041.00, February 8, 2008. (402) 556-2171.
- Backfilling of trenches shall conform to methods outlined in the Geotechnical Report. See note #14.
- The following Standard Plates on file at the City of Omaha Public Works Department shall govern:

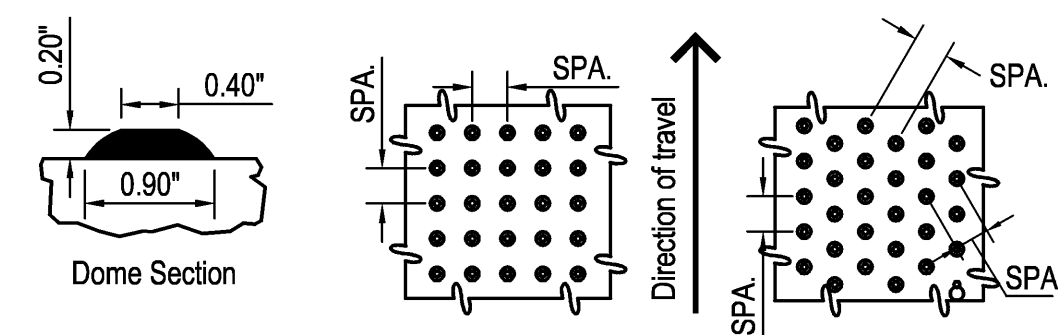
ITEMS	STANDARD PLATE NO.
Concrete Pavement Joint Details	1 - 50
Concrete Curb Details	1 - 12
Pavement Beam & Thickened Edge	1 - 60
Driveway Details, Radius Approach	1 - 70
Concrete Collar - Sewer Tap	723
Pipe Bedding Detail	3 - 01



TYPICAL 4' CHAIN LINK FENCE DETAIL
NOT TO SCALE



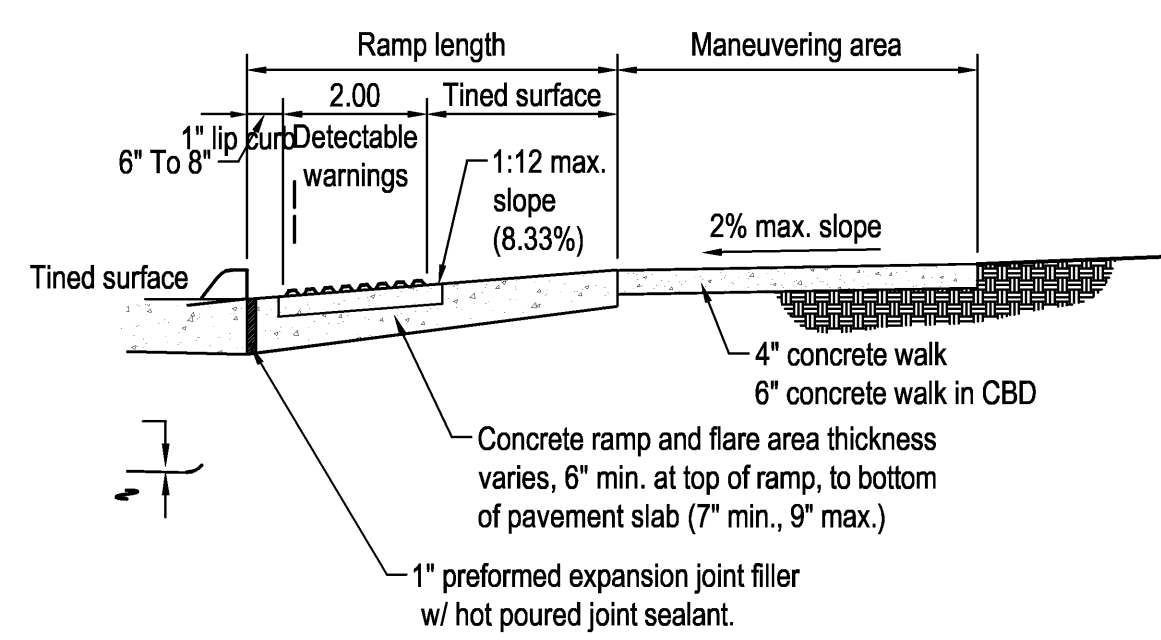
TYPICAL RETAINING WALL SECTION
NOT TO SCALE



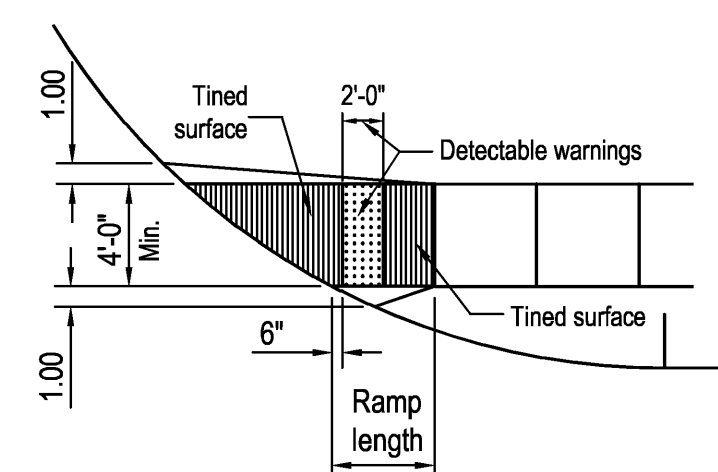
DETECTABLE WARNING DETAILS

NOTES:

- Curb ramps with detectable warnings shall be constructed where a sidewalk enters a street and any signalized entrances or driveways.
- The alignment of the ramp shall be perpendicular to the curbline or radial when the ramp falls in a radius.
- The maximum ramp slope shall be 1:12.....(8.33%)
- The minimum ramp length shall be one foot of length per inch of curb height measured along the steepest edge of the ramp.
- A 4' x 4' landing/maneuvering area shall be constructed at the top of the ramp. The maximum cross slope shall be 2%.
- Ramp flares shall be constructed where the ramp is contiguous with a walking area. Ramp flares shall be sloped at 10% maximum perpendicular to the curb ramp.
- The surface of all curb ramps shall be tined transversely to the slope of the curb ramp. The lines shall produce grooves approximately 1/8\"/>



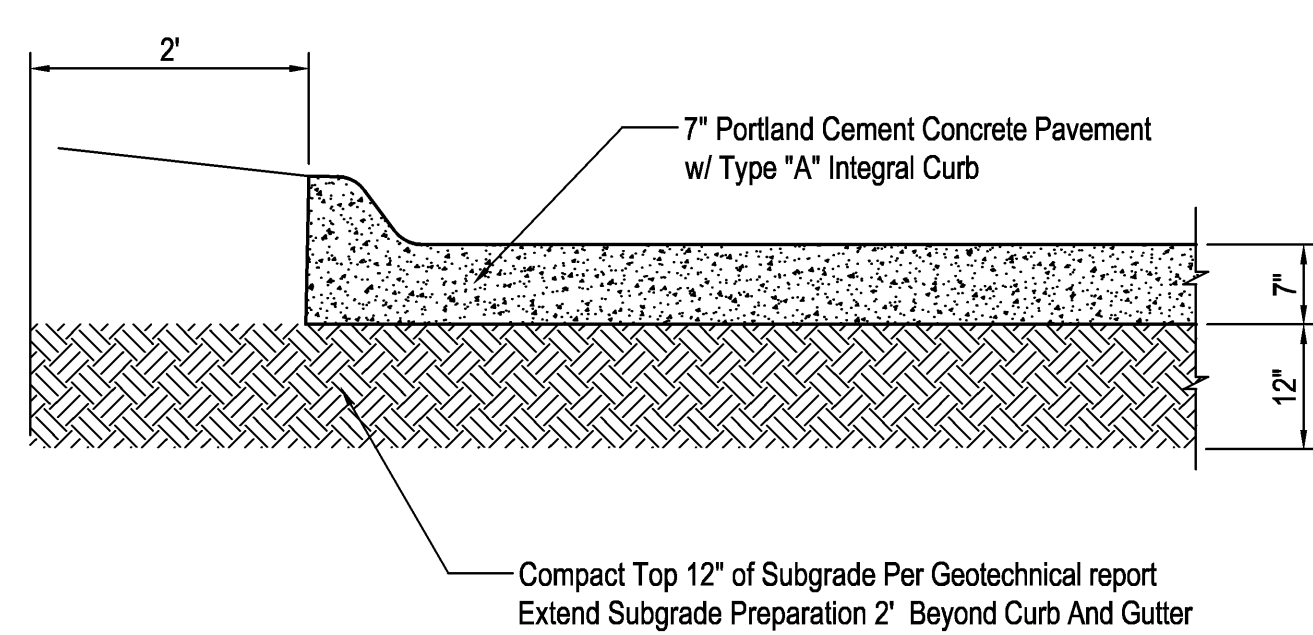
TYPICAL CURB RAMP LONGITUDINAL SECTION



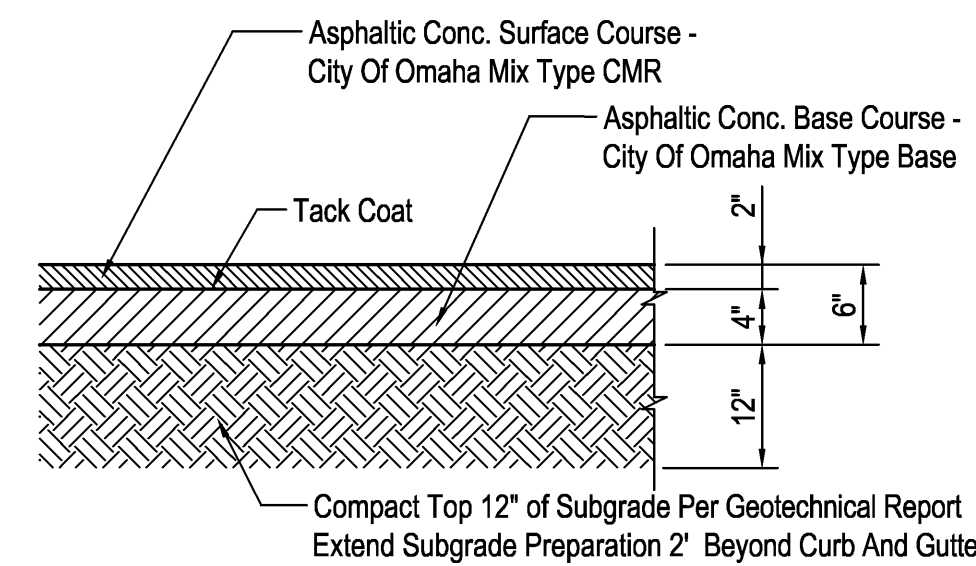
TYPICAL CURB RAMP PLAN VIEW

CURB RAMP DETAILS

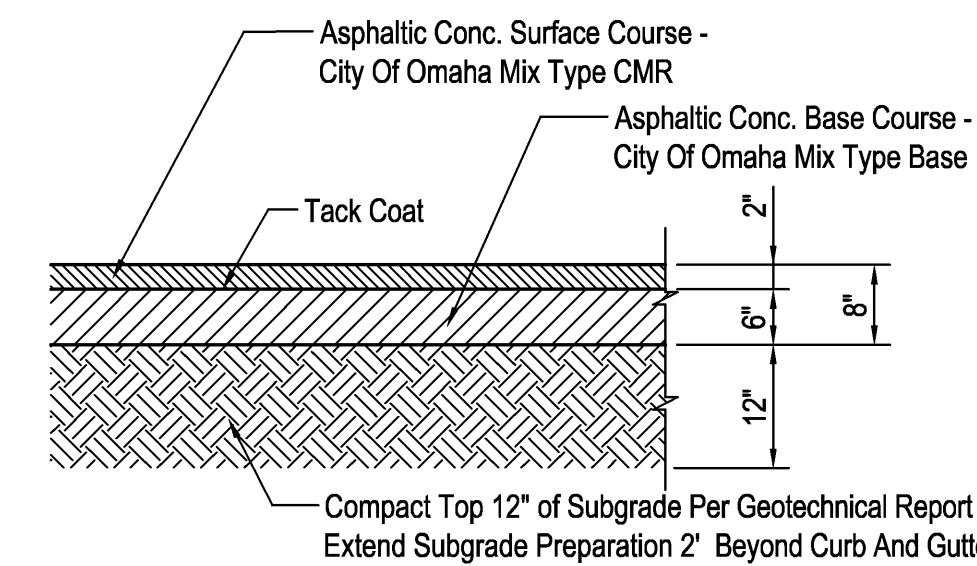
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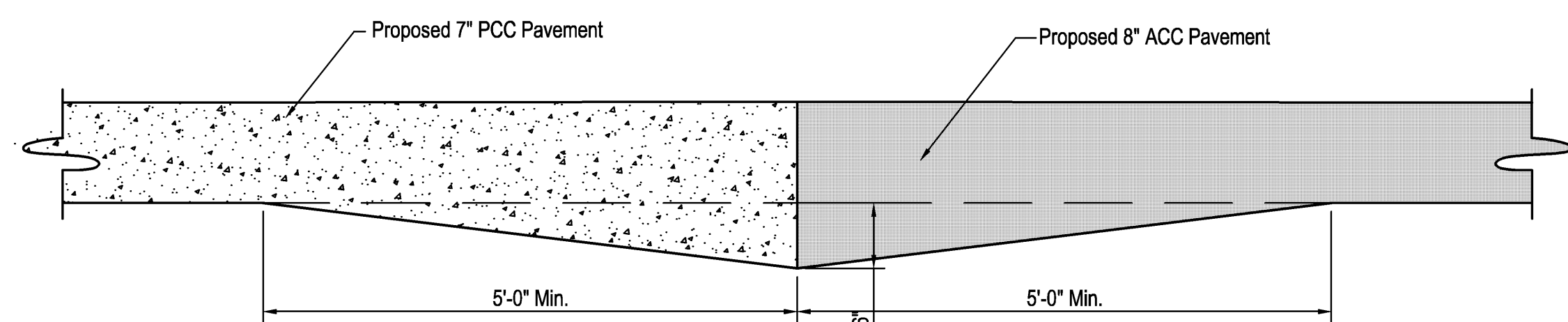
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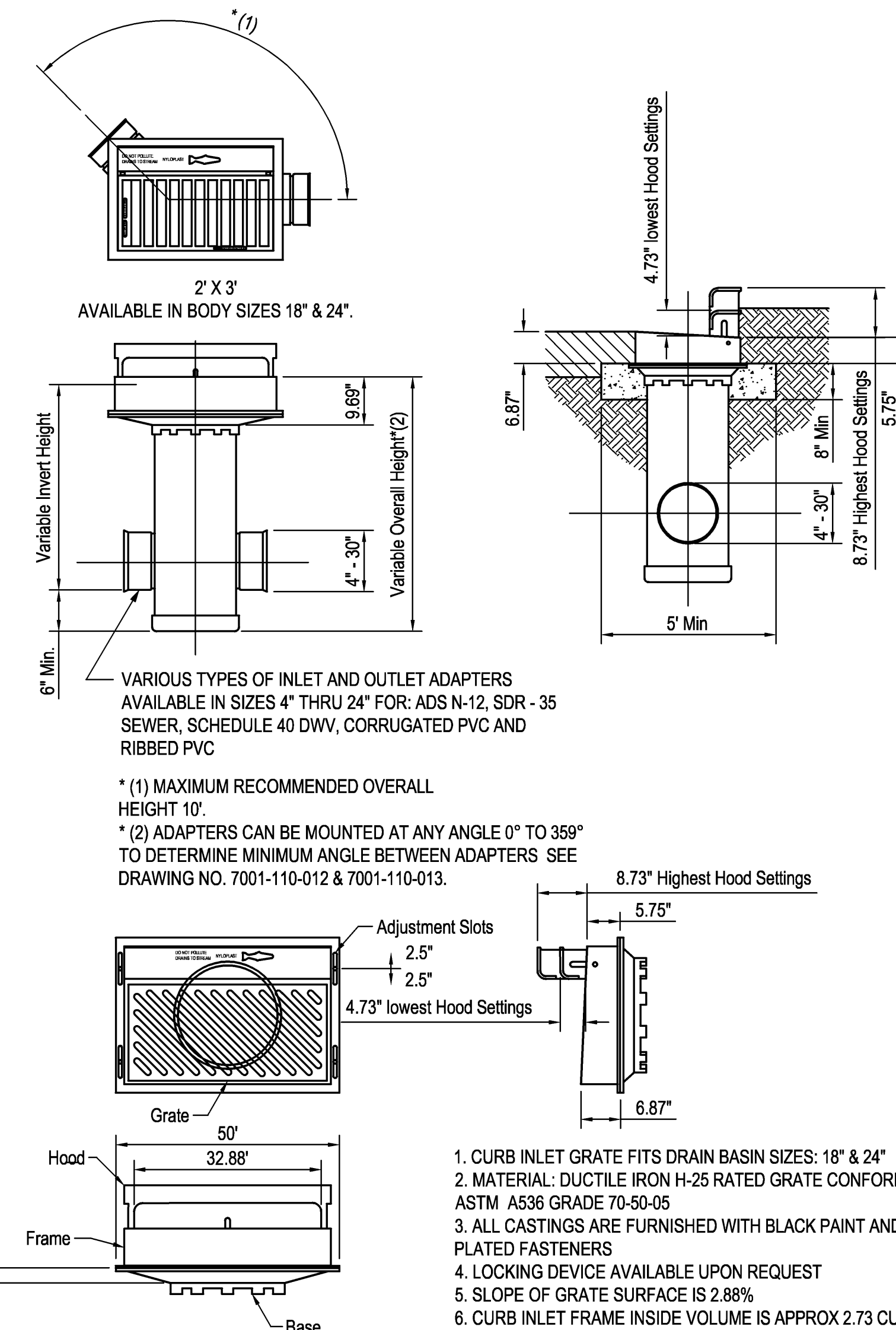
6\"/>



8\"/>



THICKENED EDGE DETAIL
NOT TO SCALE



ADS ROAD & HIGHWAY CURB INLET DETAIL
NOT TO SCALE

ANGELA M. SCHMIDT
E-10842
DATE OF SIGNATURE: 02/15/2008

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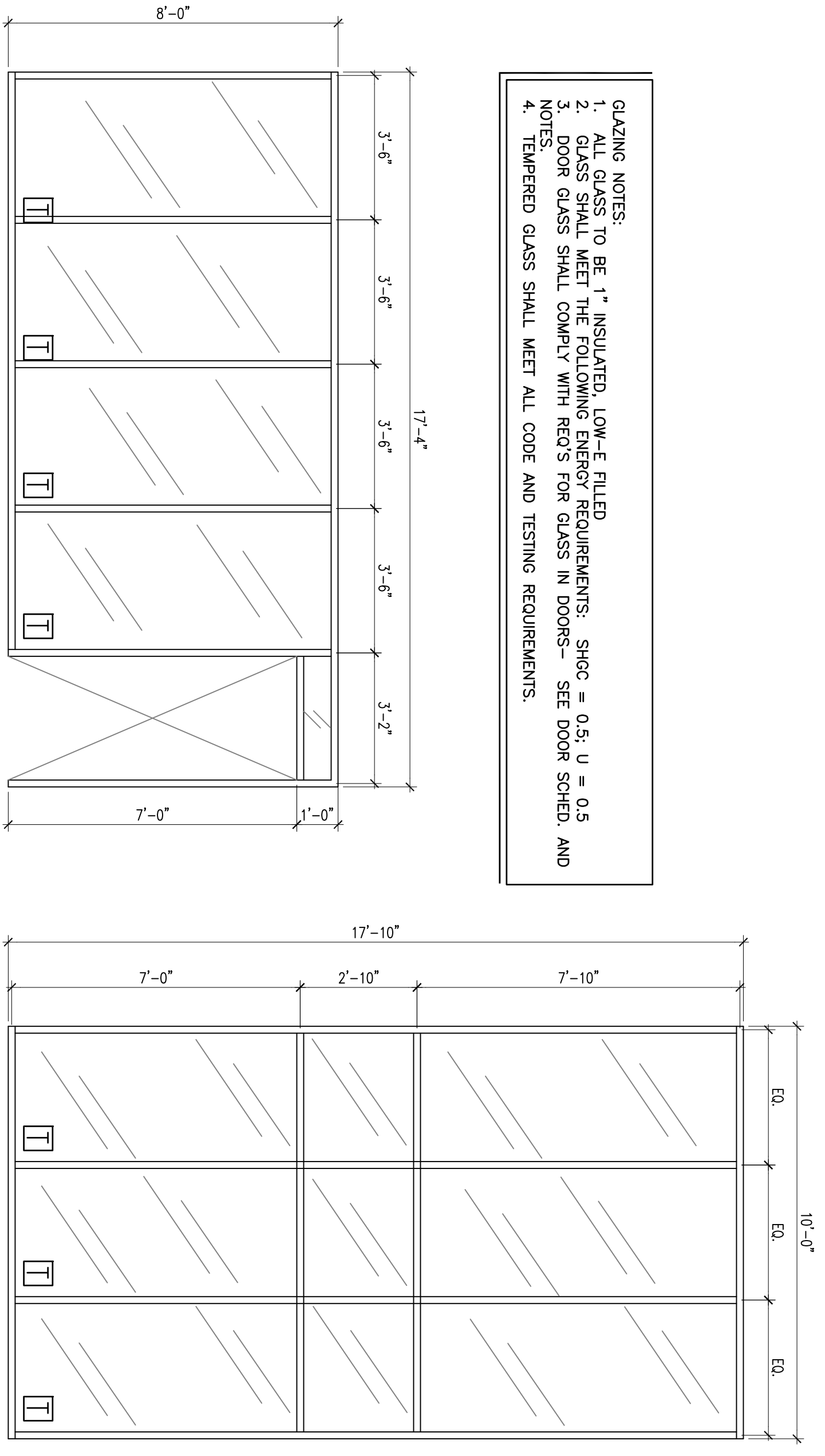
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Sheet No.

C6

DOOR SCHEDULE										
DOOR					FRAME			NOTES		
TYPE	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	HOW SET	RATING	TYPE	MATERIAL	FINISH
01	3'-0"	7'-0"	1 3/4"	ALUM/CL	PF	2	-	1	ALUM	PF SELF-CLOSING
02	3'-0"	7'-0"	1 3/4"	HM	PT	2	-	2	HM	PF SELF-CLOSING
03	12'-0"	10'-0"	1 3/4"	M	-	-	-	-	-	-

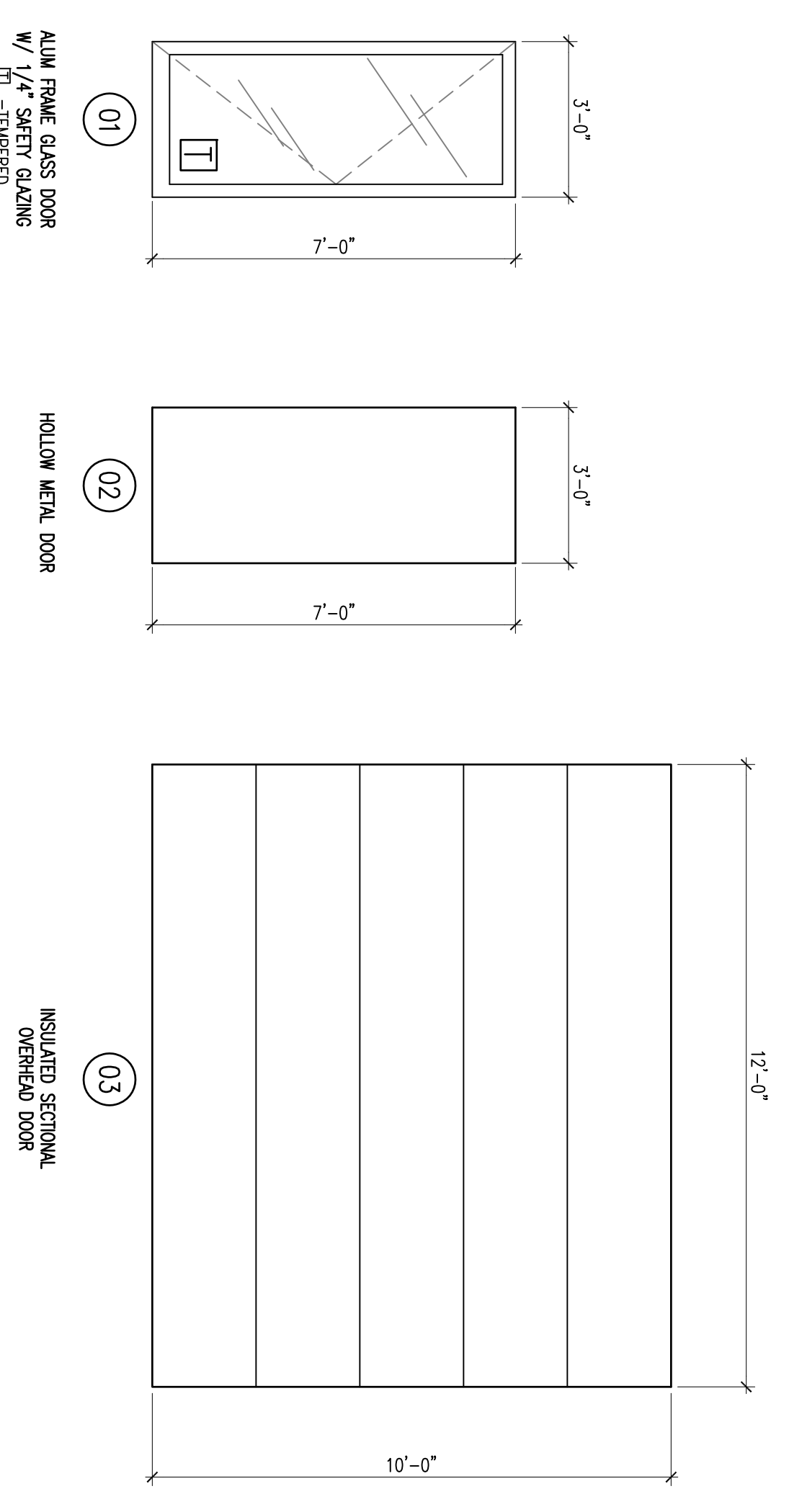
DOOR AND HARDWARE NOTES:									
1. ALL EXIT DOORS TO BE KEY-LESS IN THE DIRECTION OF EGRESS. DOORS MUST BE OPERABLE WITHOUT SPECIAL TOOLS OR KNOWLEDGE.									
2. ALL DOORS TO BE SELF-CLOSING UNLESS OTHERWISE NOTED. THE SIDE OF THE DOOR OPENING TO BE INDICATED IN THE INTERIOR (ROOM).									
3. ALL GLASS IN DOORS SHALL MEET ASTM-2-97, TEST REQUIREMENTS FOR SAFETY GLAZING.									



GLAZING NOTES:
 1. ALL GLASS TO BE 1" INSULATED, LOW-E FILLED
 2. GLASS SHALL MEET THE FOLLOWING ENERGY REQUIREMENTS: SHGC = 0.55; U = 0.5
 3. DOOR GLASS SHALL COMPLY WITH REQ'S FOR GLASS IN DOORS - SEE DOOR SCHED. AND NOTES
 4. TEMPERED GLASS SHALL MEET ALL CODE AND TESTING REQUIREMENTS.

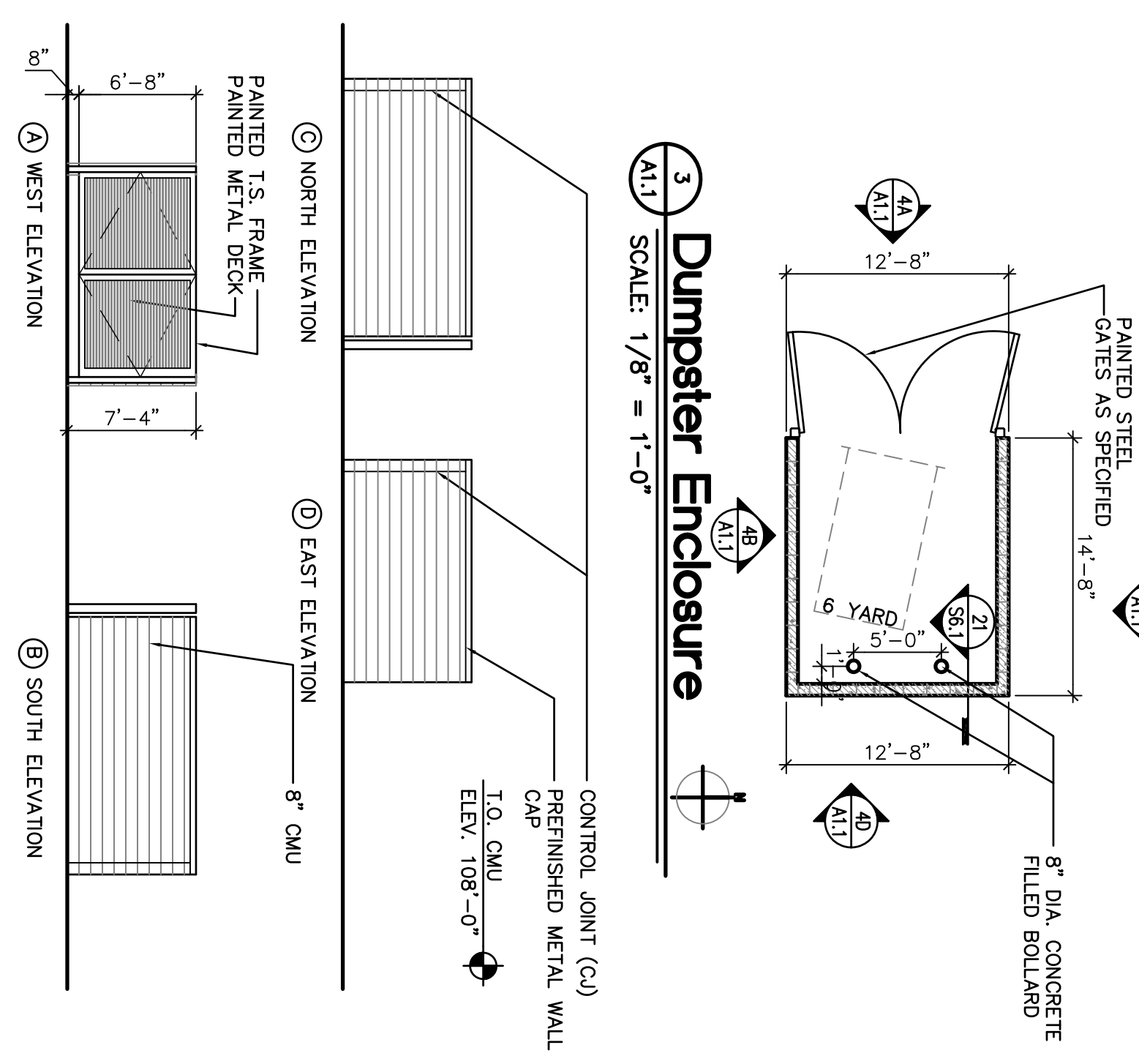
2 Window / Frame Elevations
 SCALE: 3/8" = 1'-0"

GENERAL NOTES:
 1. VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY AND PRIOR TO THE COMMENCEMENT OF ANY WORK. DO NOT SCALE DRAWINGS.
 2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR SCHEDULING REQUIRED INSPECTIONS IN A TIMELY MANNER.
 3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES AND FOR COORDINATION ALL PORTIONS OF THE WORK.
 4. CONTRACTOR SHALL KEEP THE PREMISES FREE OF DEBRIS, WASTE MATERIALS, OR ANY OTHER RUBBER CAUSED DURING THE WORK PROCESS. PREMISES ARE TO BE CLEANED AT THE END OF EACH WORKING DAY.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES FOR THE MUNICIPAL CODE, AND STATE.
 6. HIDDEN AND UNBROKEN CONDITIONS UNCOVERED DURING THE COURSE OF THE WORK SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 7. THE SCOPE OF WORK IS SHOWN ON THE DRAWINGS, AND IS GENERAL IN NATURE. THE DRAWINGS DO NOT NECESSARILY DETAIL EVERY ITEM REQUIRED, OR CONDITION THAT MAY BE ENCOUNTERED IN ORDER TO PROPERLY EXECUTE THE WORK.
 8. CONTRACTOR SHALL PROVIDE ALL BRACKING AND STORING NECESSARY TO PROTECT THE WORK AND MATERIALS FROM DAMAGE. CONTRACTOR SHALL PROVIDE ALL PROTECTIVE MATERIALS AND EQUIPMENT TO REMAIN.
 9. CONTRACTOR SHALL PATCH, REPAIR, OR REPLACE EXISTING WALLS AS REQUIRED BY NEW ELECTRICAL OR MECHANICAL WORK.
 10. ALL OPSISUM BOARD TO BE 5/8" THICK UNLESS OTHERWISE INDICATED.
 11. ALL ANGLES ON PLAN ARE 45 OR 90 DEGREES UNLESS OTHERWISE INDICATED.
 12. PROVIDE IN-WALL BRACKING IN NEW AND EXISTING WALLS FOR WALL-MOUNTED ITEMS INCLUDING CABINETS, SHELVING, TOILET AND BATH ACCESSORIES, AND SIMILAR ITEMS. BRACKING FOR WALL STOPS SHALL BE REQUIRED IN NEW WALLS ONLY.
 13. ALL ITEMS NOTED ARE NEW UNLESS SPECIFICALLY IDENTIFIED AS EXISTING.
 14. WHERE FLOOR FINISH CHANGES AT DOORWAY, CENTER THE TRANSITION UNDER THE DOOR.
 15. ALL DIMENSIONS ARE ACTUAL AND ARE TO FACE OF MASONRY, FACE OF OPSISUM WALL BOARD, OUTSIDE FACE OF METAL FRAME, CENTERLINE OF COLUMN OR CENTERLINE OF BEAM UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED. MATERIALS, DEMOLITION, OR CONSTRUCTION, ALL DIMENSIONS ALONG WITH OR RELATING TO EXISTING CONDITIONS ARE TO BE LAB' OUT AND VERIFIED PRIOR TO COMMENCING WORK.
 16. ALL DEMOLITION WORK IS TO BE COMPLETED WITH NEW WORK. F. UNDOCUMENTED CONDITIONS SHALL BE LAB' OUT BY THE CONTRACTOR. NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
 17. VERIFY MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE AND INTERFACE. CONTRACTOR SHALL CORRECT LOCATION FOR ALL MECHANICAL AND ELECTRICAL ITEMS WITH GENERAL CONTRACTOR. NOTIFY ARCHITECT/ENGINEER WITH THE ARCHITECT/ENGINEER PRIOR TO INSULATION OR FABRICATION.
 18. SEE MECHANICAL DRAWINGS FOR ALL ROOF PENETRATIONS WHICH MUST BE FLASHED/ROOFED AROUND.
 19. ALL CONTROL JOINTS AT MASONRY EXTERIOR WALLS SHALL BE CALLED AT THE EXTERIOR AND BAKED BACK 3/4" AT INTERIOR, THEN INSTALL BARRIER ROD AND CALK.
 20. IN SOME INSTANCES, THERMAL AND SOUND BATT INSULATION HAS BEEN OMITTED FROM THE DETAILS FOR CLARITY. SEE WALL TYPES AND PLANS FOR LOCATIONS OF INSULATION.
 21. ALL EXTERIOR WALLS ARE TO PROVIDE A MINIMUM R VALUE = 25.

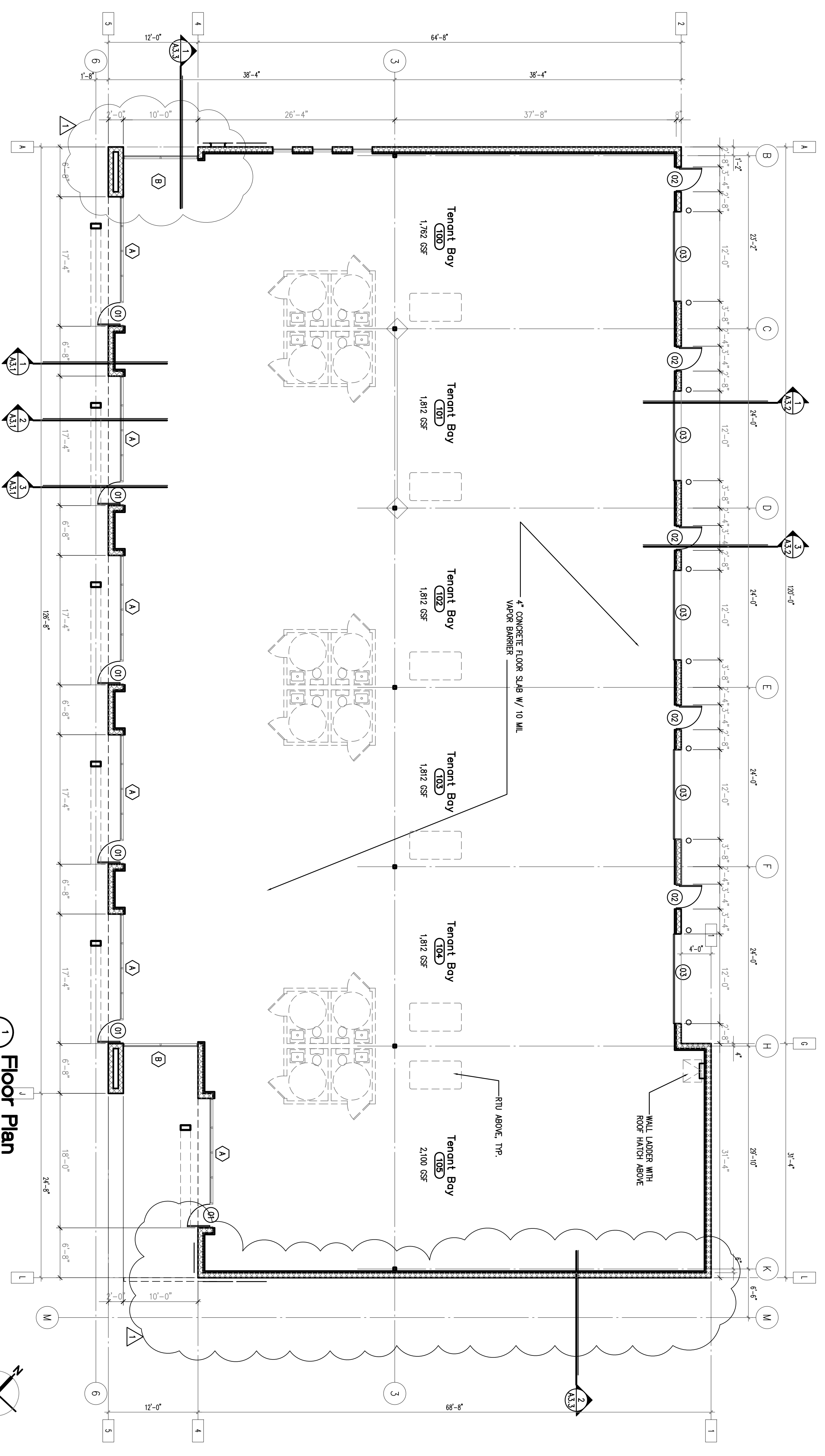


2 Door Elevations
 SCALE: 3/8" = 1'-0"

3 Dumpster Enclosure
 SCALE: 1/8" = 1'-0"



4 Dumpster Enclosure
 SCALE: 1/8" = 1'-0"



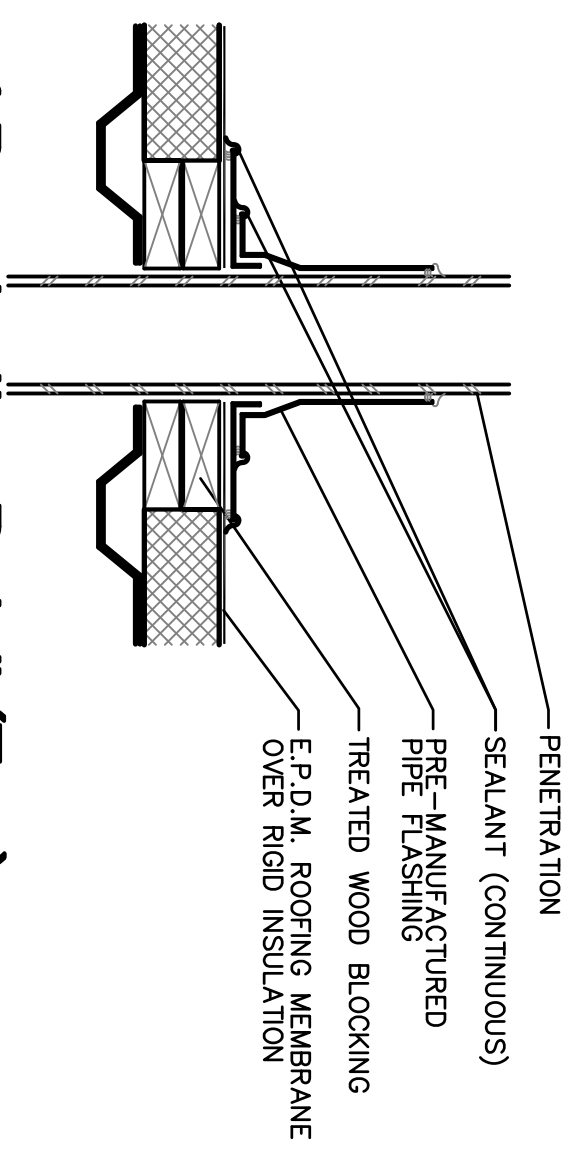
1 Floor Plan
 SCALE: 1/8" = 1'-0"

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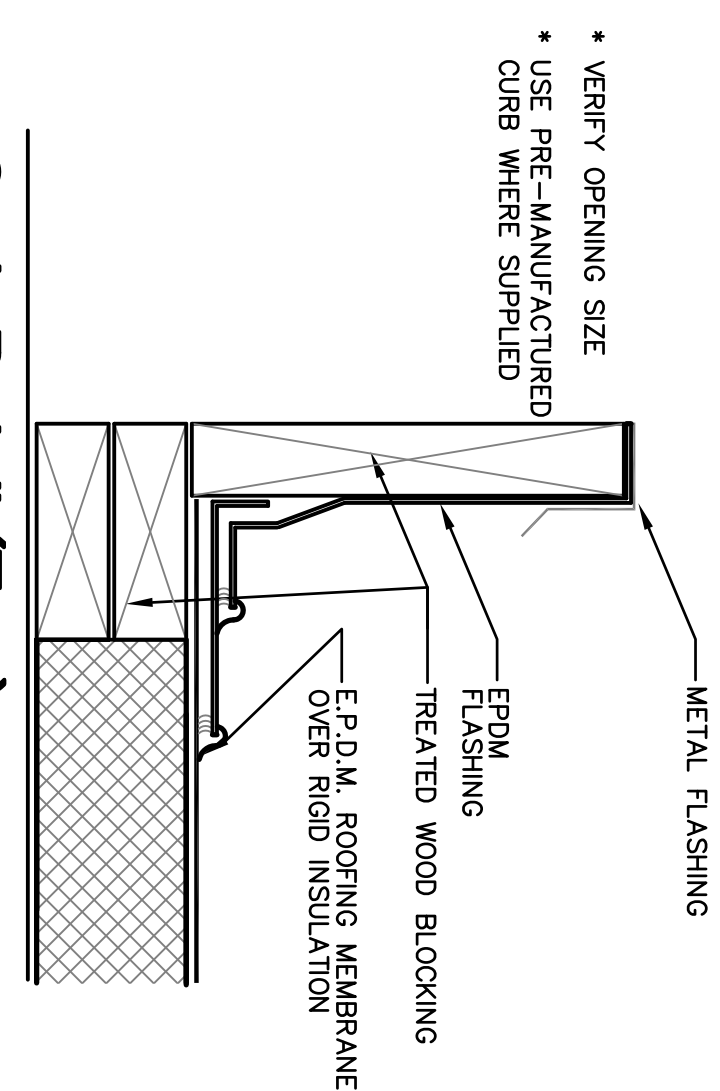
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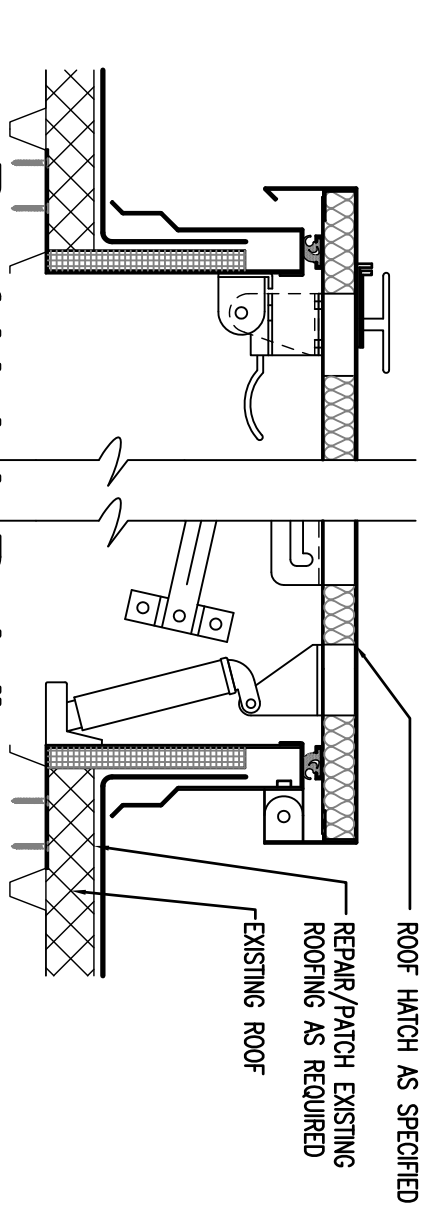
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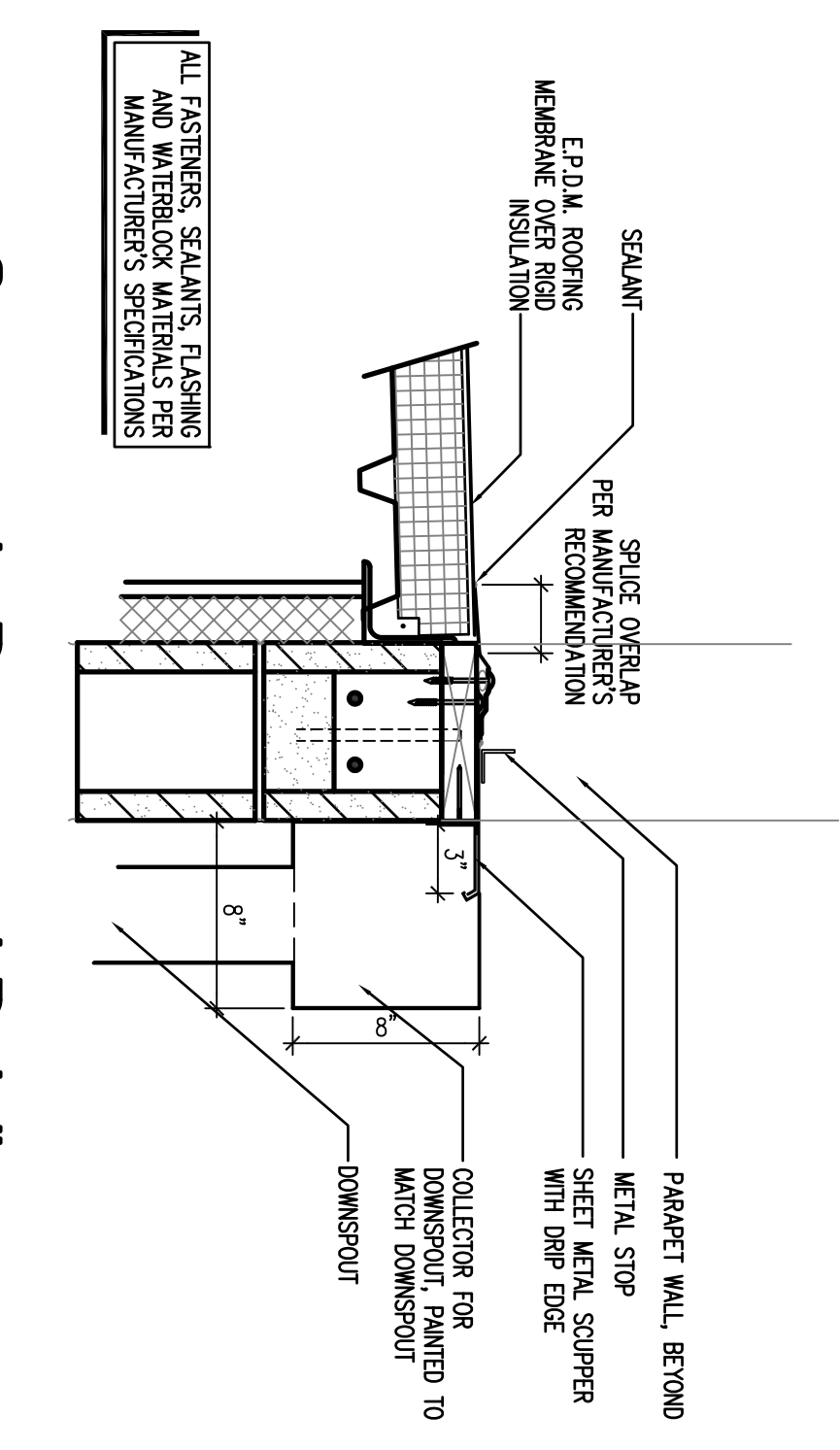
2 Roof Penetration Detail (Typ.)
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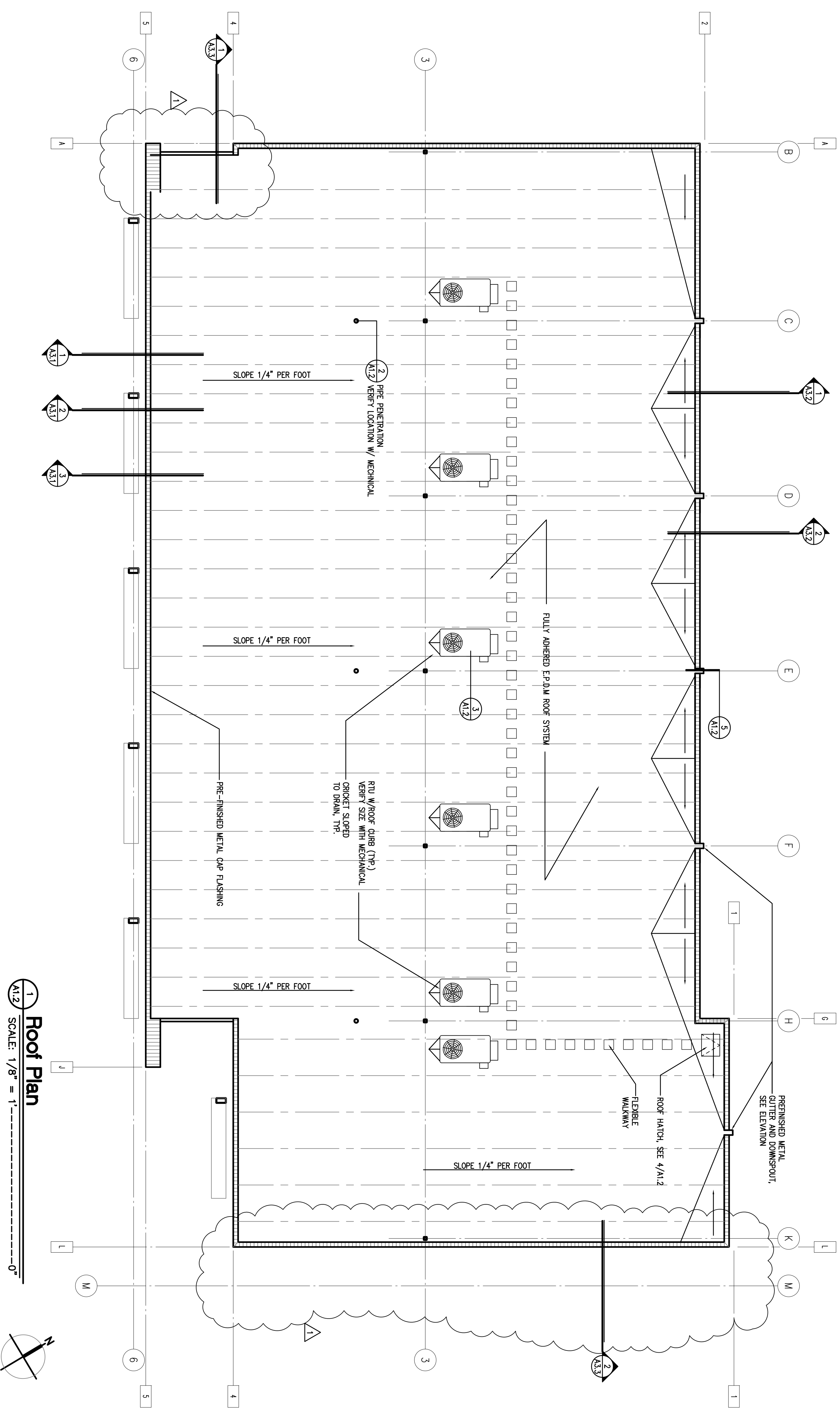
3 Curb Detail (Typ.)
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4 Roof Hatch Detail
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5 Scupper to Downspout Detail
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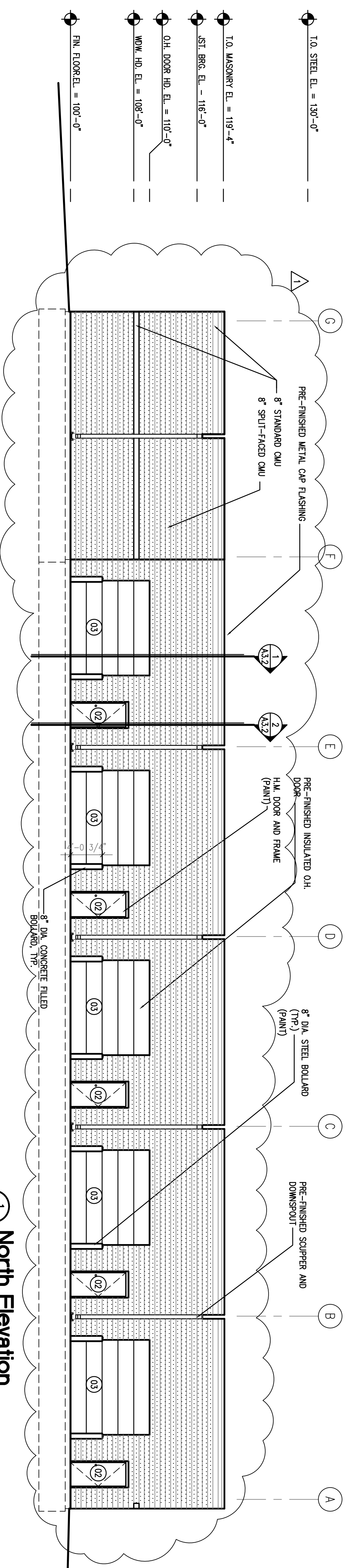
1 Roof Plan
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Granite Transformations
Lot 2, 180 Business Park
6886 S. 118th Street
Omaha, Nebraska

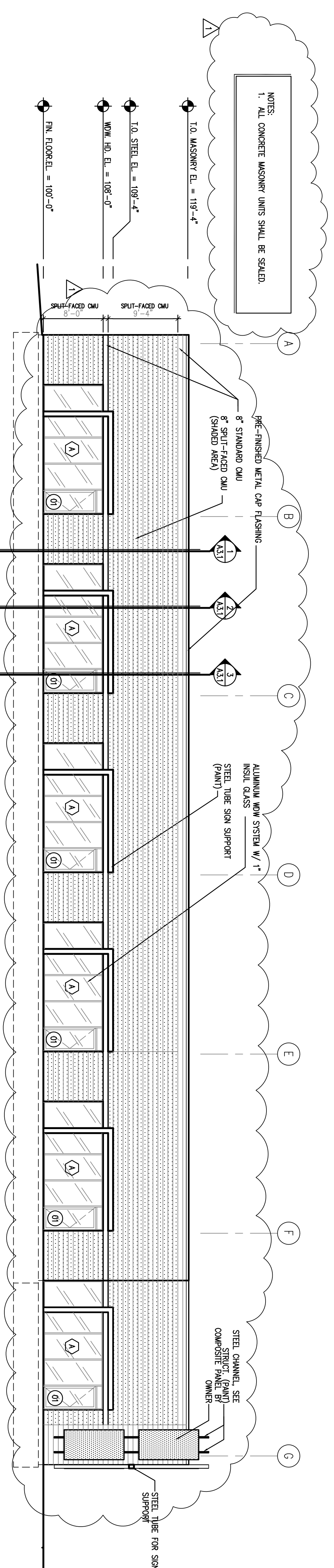
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Date: **June 3, 2008**
Project No: **07-050**
Revisions:
June 3, 2008

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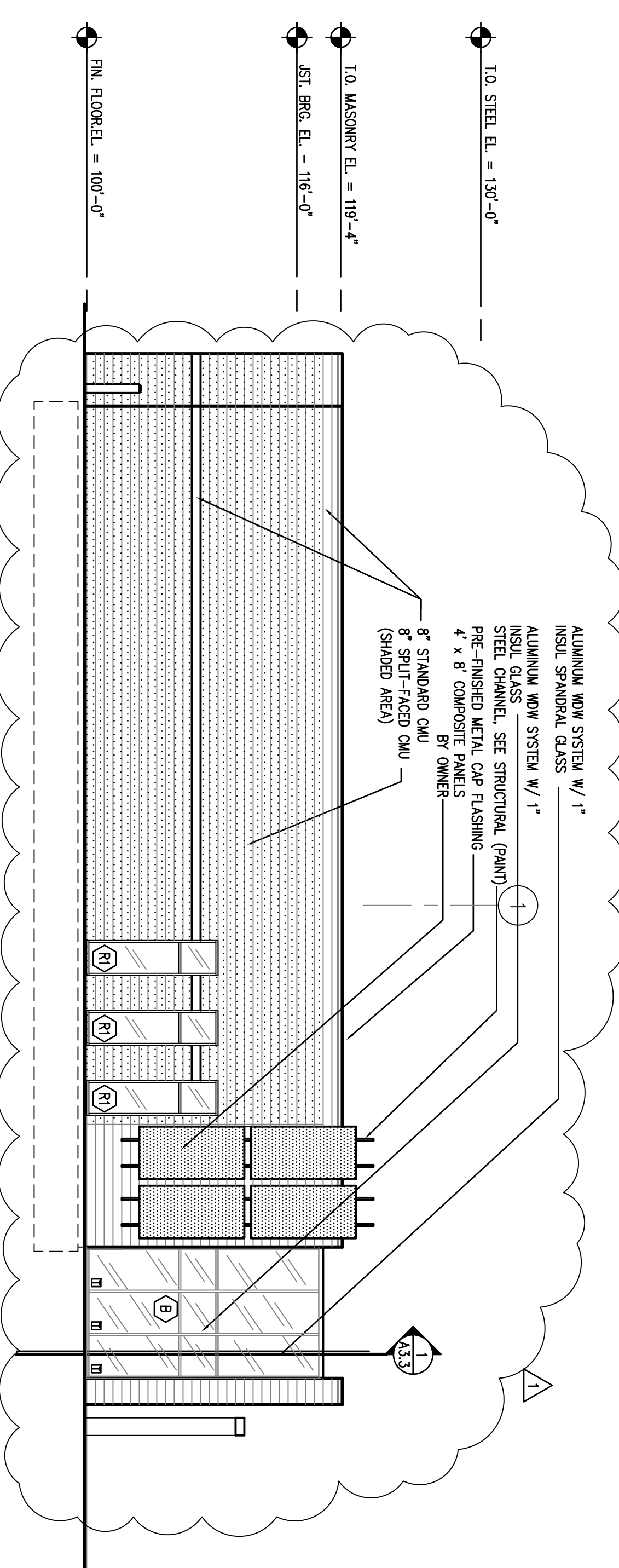
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A1.2



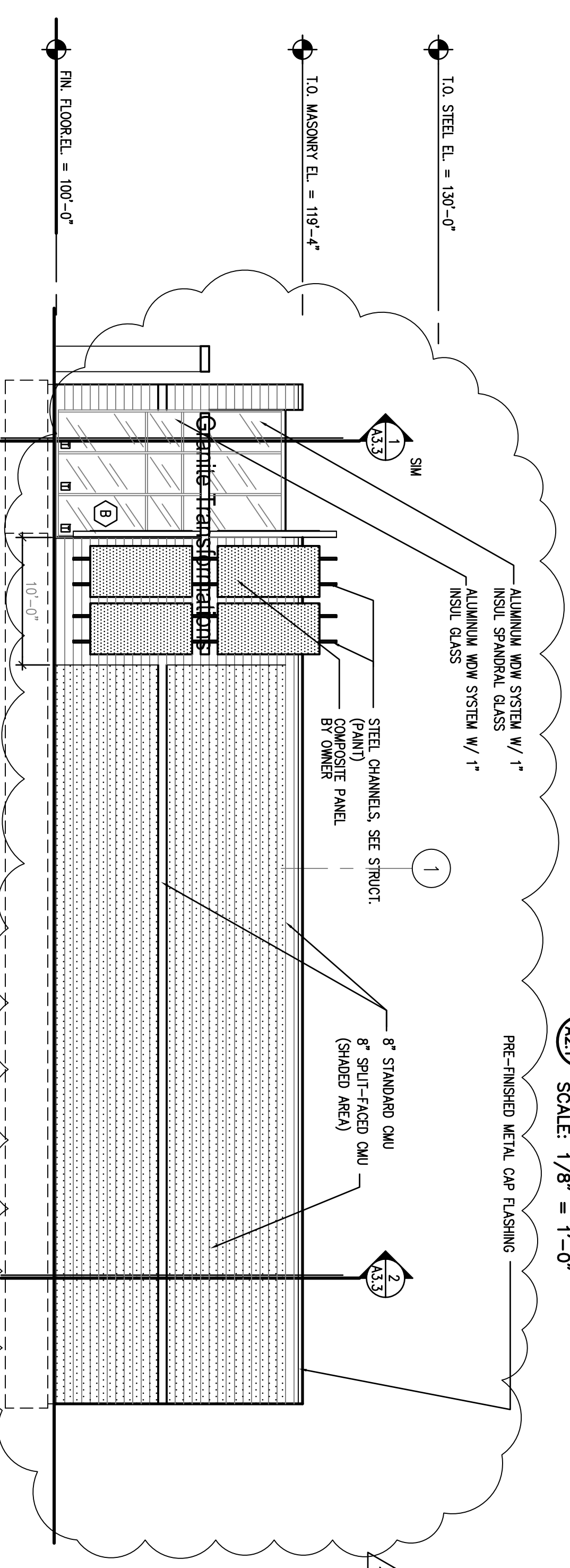
1 North Elevation
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2 South Elevation
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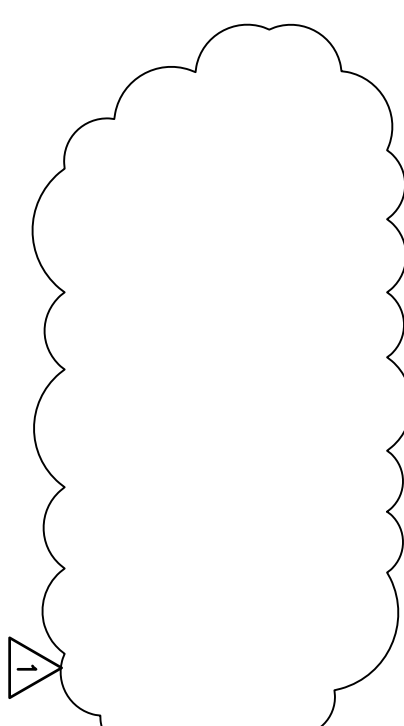


3 East Elevation
SCALE: 1/8" = 1'-0"



4 West Elevation
SCALE: 1/8" = 1'-0"

NOTES:
1. ALL CONCRETE MASONRY UNITS SHALL BE SEALED.



Granite Transformations
Lot 2, 1480 Business Park
6866 S. 118th Street
Omaha, Nebraska

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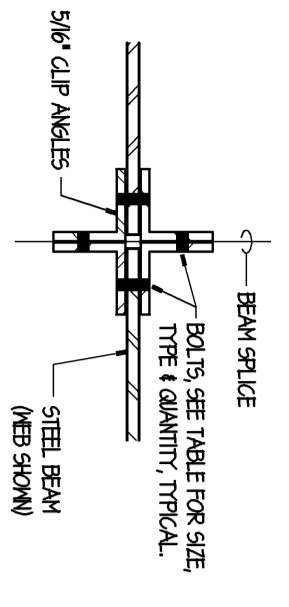
Sheet No.
A2.1

GENERAL STRUCTURAL NOTES

- CODES**
2000 International Building Code
Building Code of Omaha Amendments
- STRUCTURAL DESIGN LOADS**
ROOF LIVE LOAD:
ROOF TOP EAVENING ALLOWANCE:
Snow (per Sec. 6.03 and ASCE7-10 Sec. 7.10)
Flood (per Sec. 6.03 and ASCE7-10 Sec. 7.10)
Wind (per Sec. 6.03 and ASCE7-10 Sec. 7.10)
Seismic (per Sec. 6.03 and ASCE7-10 Sec. 7.10)
Other (per Sec. 6.03 and ASCE7-10 Sec. 7.10)
- FOUNDATION DESIGN CRITERIA**
Soils Investigation report dated February 8, 2009 by Thea Geotech Omaha, Nebraska 68104.
Allowable Bearing Capacities:
All footing foundations shall be inspected and approved by the geotechnical engineer prior to placing concrete.
- EAVENING OVERCROWDING AND BACKFILL**
The site shall be prepared and all earthwork operations completed in accordance with the recommendations contained in the geotechnical report dated February 8, 2009 by Thea Geotech.
The site is to be graded prior to starting excavation for foundation construction.
Product of existing excavations from damage due to water or freezing temperatures.
Removal of existing expansive soil beneath the floor slabs required. Slabs shall be overexcavated to a depth of at least 2 feet below the finished floor and replaced with compacted fill to the structural depth of the footing. All footing shall be placed on a section of the undisturbed soil.
See Civil Drawings for additional requirements.
- GENERAL NOTES**
All work shall comply with requirements of the 2000 International Building Code, with recommendations of manufacturers and with recognized nomenclature and standard practices.
Comply with all applicable codes, ordinances, and regulations including those promulgated and based on the codes, ordinances, and regulations of the City of Omaha and approved by all of the departments and agencies of the City of Omaha. The contractor shall determine the need for and provide all required permits or other means to have existing utility lines relocated or protected by the contractor. The contractor shall provide appropriate additional temporary or permanent connections and members or, in the alternative, shall make appropriate modifications of specified connections and members to be submitted to the Architect for review and approval. Such review and approval shall be for only for compliance with the structural and architectural design intent for the work. The contractor shall be responsible for the design of all connections and details.
Adapt requirements of details, sections, plans, and notes at all locations at which conditions are shown.
The structural drawings are to be read in View of all other drawings and all specifications.
Contractor shall work shown with all other work.
Shop drawings for any part of the work shall show the interfaces with and provisions for related work including such adaptations of requirements given as may be necessary.
Contractor shall cross check dimensions and elevations between architectural, mechanical and structural plans and notify Architect of any variance before contractor begins work.
- SPECIAL INSPECTION**
Special Inspection in accordance with section 1704 of the 2000 International Building Code will be performed for the following types of work:
A. Slabs: Special Inspection in accordance with section 1704.1 of the IBC is required for slab preparation, fill placement, and evaluation on in-place density of fill material.
B. Concrete: Special Inspection in accordance with section 1704.4 and Table 1704.4 of the IBC is required for all structural steel.
C. Structural Steel: Special Inspection in accordance with section 1704.3 and Table 1704.3 of the IBC is required for all structural steel.
D. Masonry: Special Inspection in accordance with section 1704.5 and Table 1704.5 of the IBC is required for all masonry.
E. Other: Special Inspection in accordance with section 1704.6 of the IBC is required for all other work.
The contractor shall provide the special inspector sufficient notification to allow the required inspection to be made without delaying the construction schedule. The contractor shall confirm that all inspections have been completed and approved by the special inspector prior to proceeding with work.
Plan fields are NOT required.

CAST-IN-PLACE CONCRETE WORK

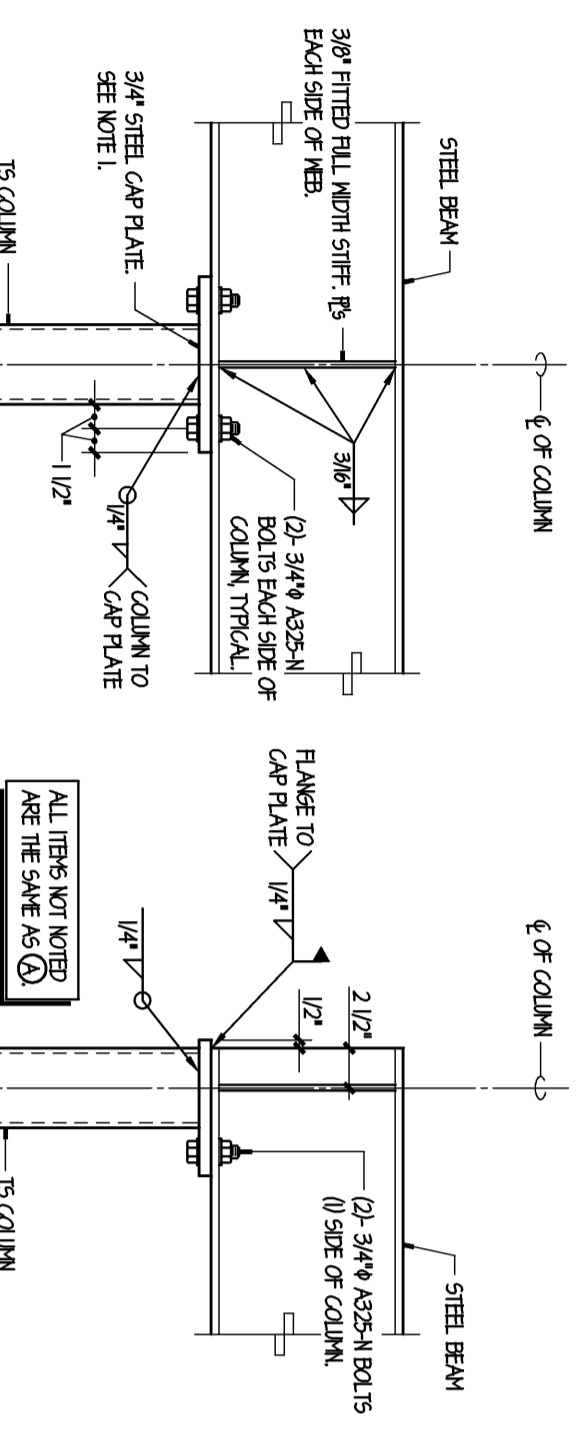
- GENERAL**
All cast-in-place concrete work shall be inspected and approved by the geotechnical engineer prior to placing concrete.
The contractor shall be responsible for the design of all connections and details.
Adapt requirements of details, sections, plans, and notes at all locations at which conditions are shown.
The structural drawings are to be read in View of all other drawings and all specifications.
Contractor shall work shown with all other work.
Shop drawings for any part of the work shall show the interfaces with and provisions for related work including such adaptations of requirements given as may be necessary.
Contractor shall cross check dimensions and elevations between architectural, mechanical and structural plans and notify Architect of any variance before contractor begins work.
- CONTINUITY**
All wall and foundation reinforcing shall be continuous unless noted otherwise. Continuity at corners and at other locations may be achieved using corner bars and contact lap splices as detailed on 502. Continuity at lap splices shall be shown on the shop drawings. Unless noted otherwise, the following lap splices shall be used:
Location: #4 #5 #6 #7 #8 #9
3000 and 3500 PSI Concrete: 2' 20" 30" 40" 60" 82" 104" 16" 22" 28" 30" 40" 48" 60"
Other Bars: #10 #11 #12 #13 #14 #15 #16 #17 #18 #19 #20 #21 #22 #23 #24 #25 #26 #27 #28 #29 #30 #31 #32 #33 #34 #35 #36 #37 #38 #39 #40 #41 #42 #43 #44 #45 #46 #47 #48 #49 #50 #51 #52 #53 #54 #55 #56 #57 #58 #59 #60 #61 #62 #63 #64 #65 #66 #67 #68 #69 #70 #71 #72 #73 #74 #75 #76 #77 #78 #79 #80 #81 #82 #83 #84 #85 #86 #87 #88 #89 #90 #91 #92 #93 #94 #95 #96 #97 #98 #99 #100 #101 #102 #103 #104 #105 #106 #107 #108 #109 #110 #111 #112 #113 #114 #115 #116 #117 #118 #119 #120 #121 #122 #123 #124 #125 #126 #127 #128 #129 #130 #131 #132 #133 #134 #135 #136 #137 #138 #139 #140 #141 #142 #143 #144 #145 #146 #147 #148 #149 #150 #151 #152 #153 #154 #155 #156 #157 #158 #159 #160 #161 #162 #163 #164 #165 #166 #167 #168 #169 #170 #171 #172 #173 #174 #175 #176 #177 #178 #179 #180 #181 #182 #183 #184 #185 #186 #187 #188 #189 #190 #191 #192 #193 #194 #195 #196 #197 #198 #199 #200 #201 #202 #203 #204 #205 #206 #207 #208 #209 #210 #211 #212 #213 #214 #215 #216 #217 #218 #219 #220 #221 #222 #223 #224 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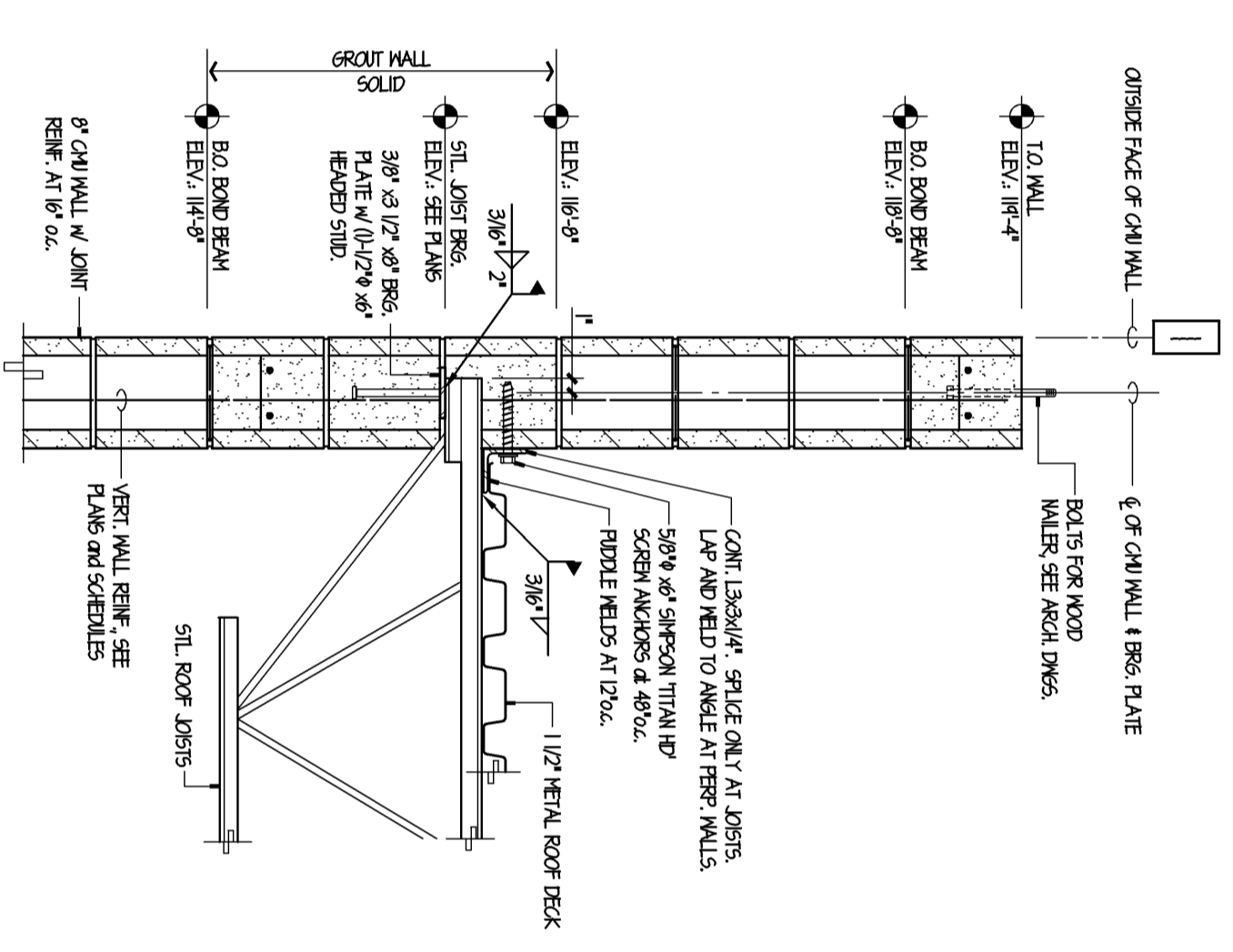
BEAM SIZE	FRAMES OF BEAMS (V)	WALL EMBLEM
NO. 20 I/H	3	0-9/16"
NO. 24 I/H	4	0-11/16"
NO. 30 I/H	5	1-1/16"

NOTE: SELECTED WALLS ARE REINFORCED WITH REBAR. REBAR SHALL BE INSTALLED IN ALL REINFORCED WALLS.

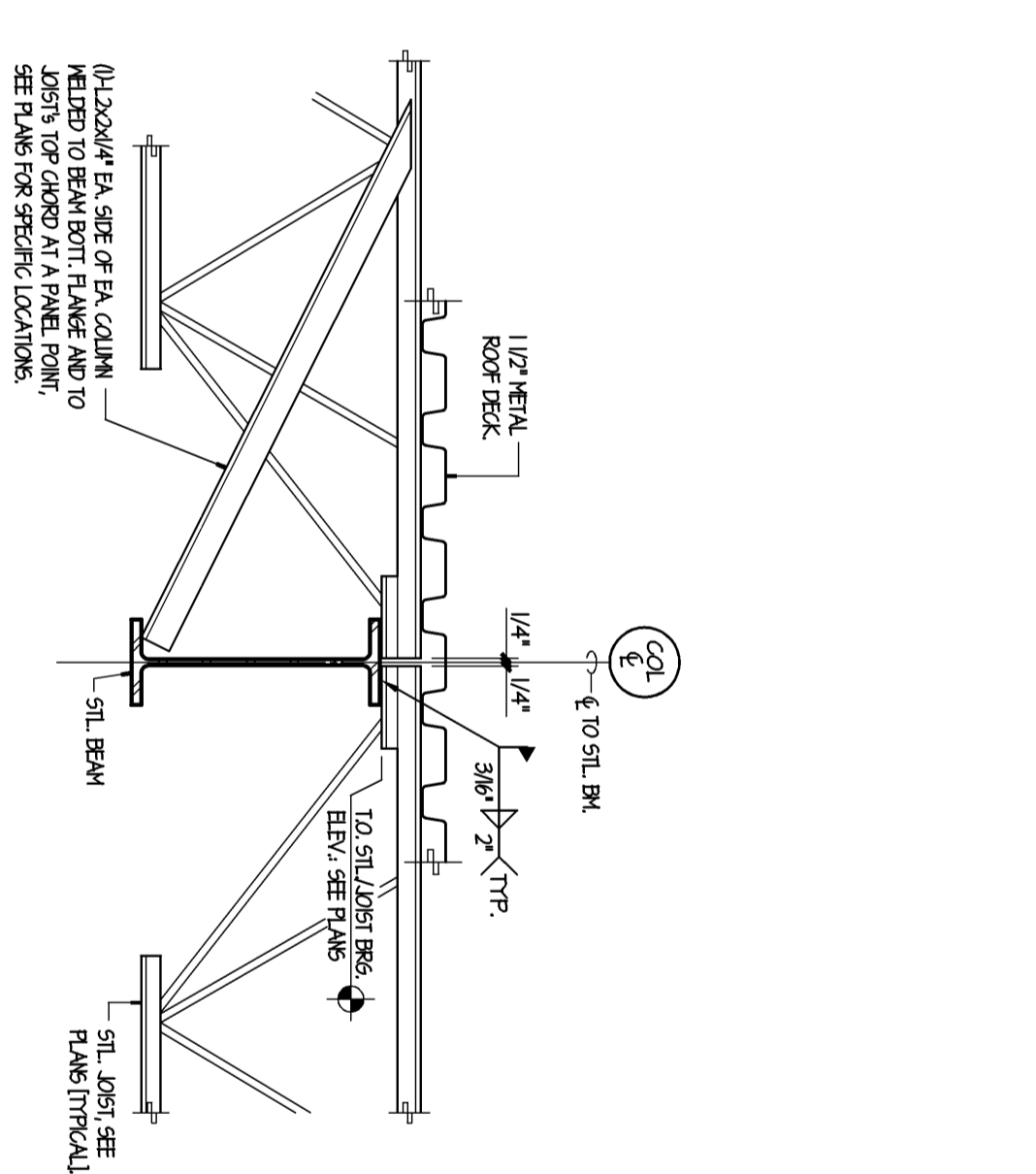
1 BEAM SPICE CONNECTION
1" = 1'-0"



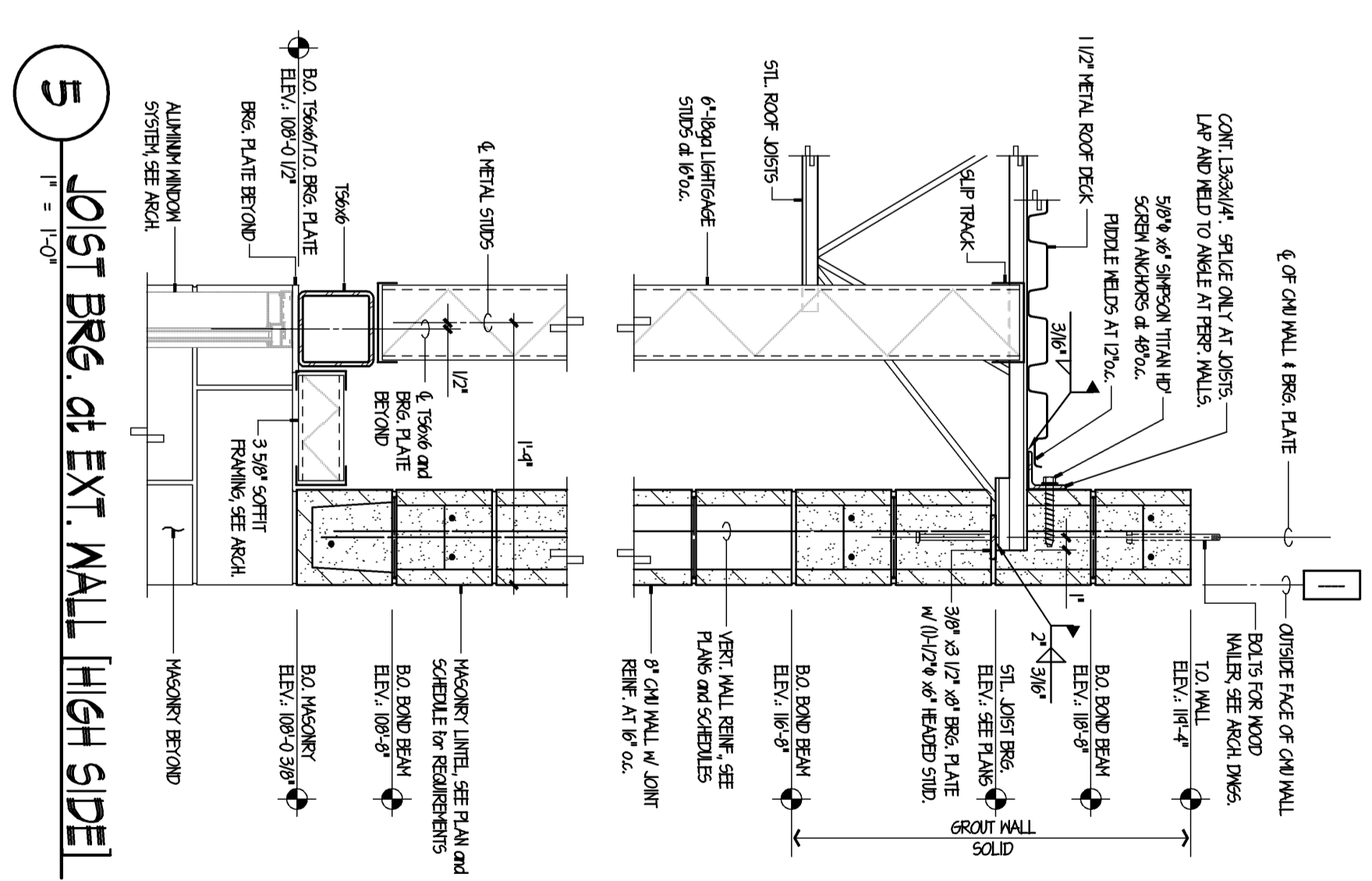
2 BEAM-TO-COLUMN CONNECTION
1" = 1'-0"



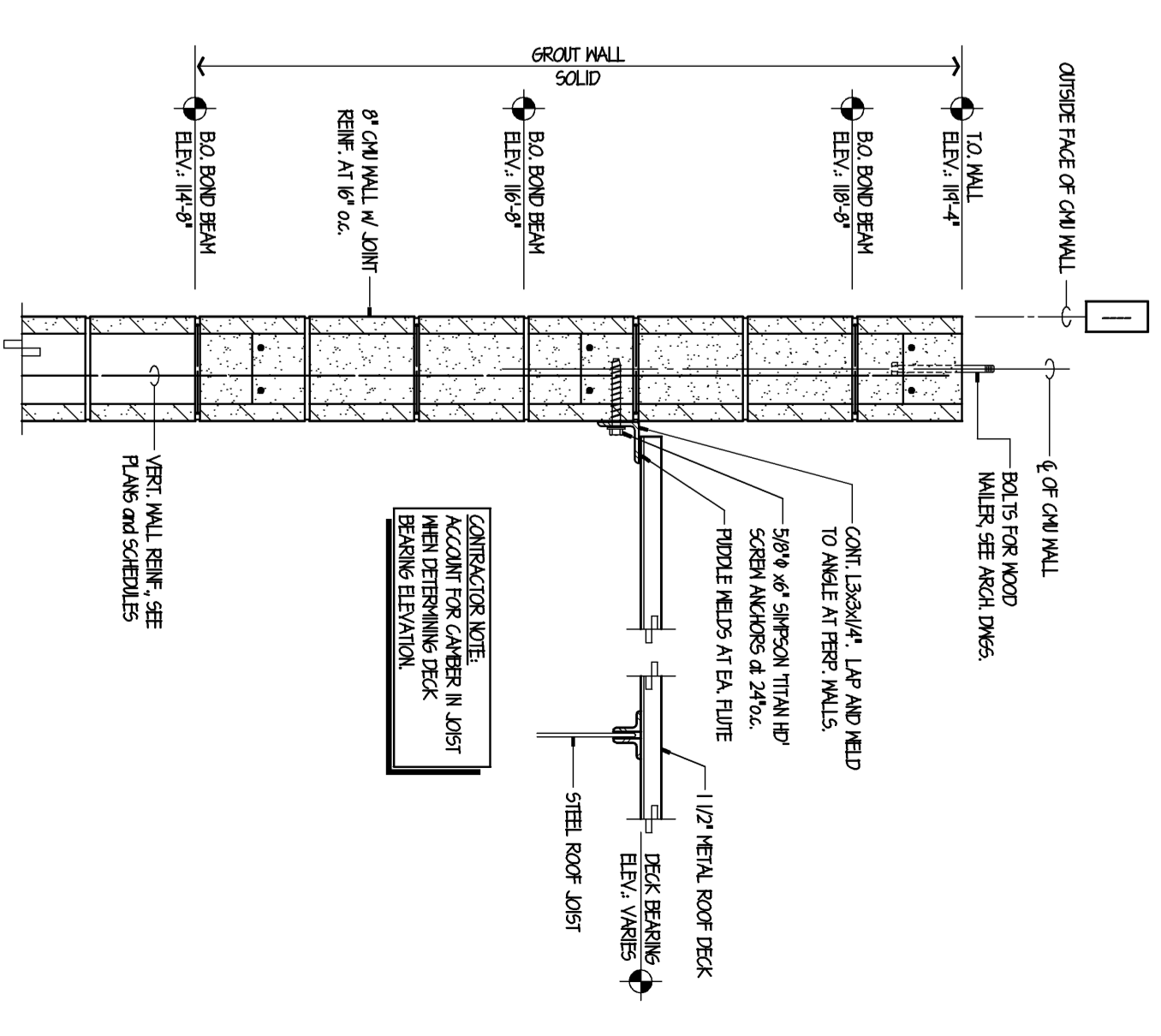
3 JOIST BRG. at EXT. WALL HIGH SIDE
1" = 1'-0"



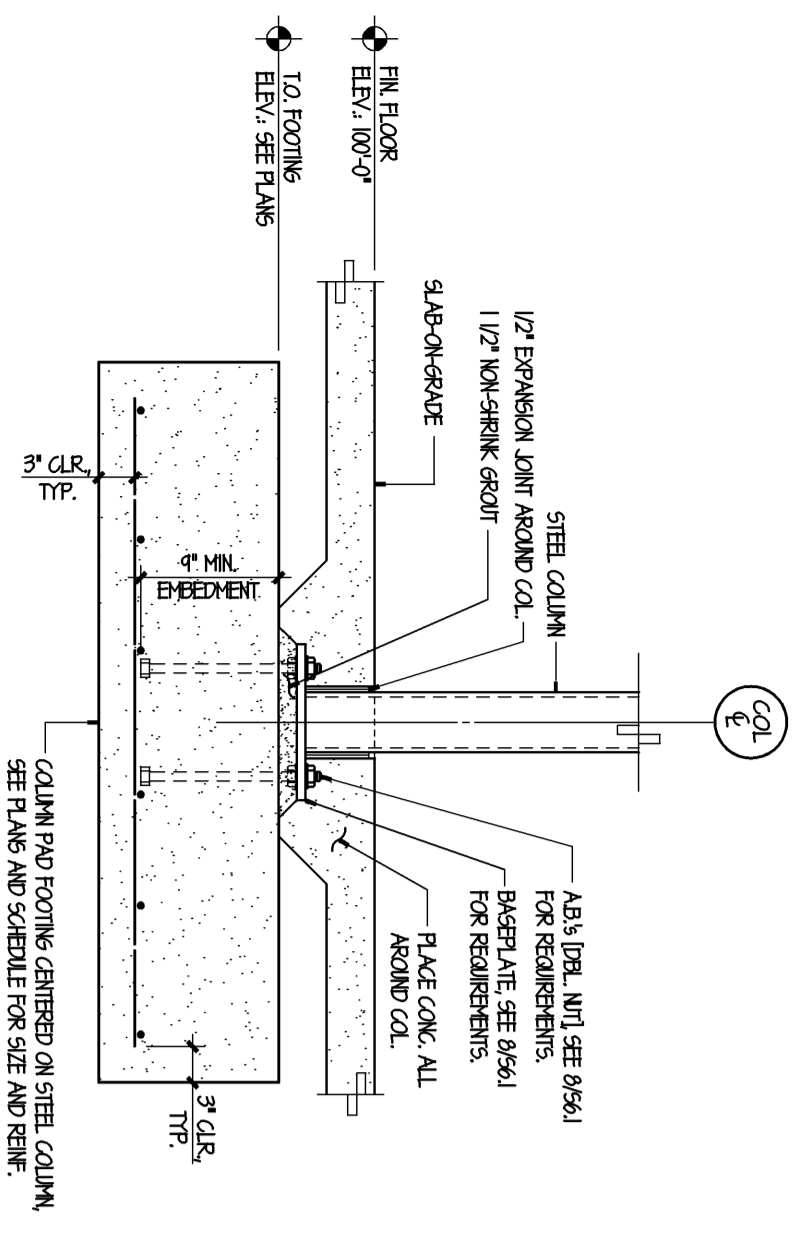
4 JOIST BRG. on INTERIOR STL. BEAM
1" = 1'-0"



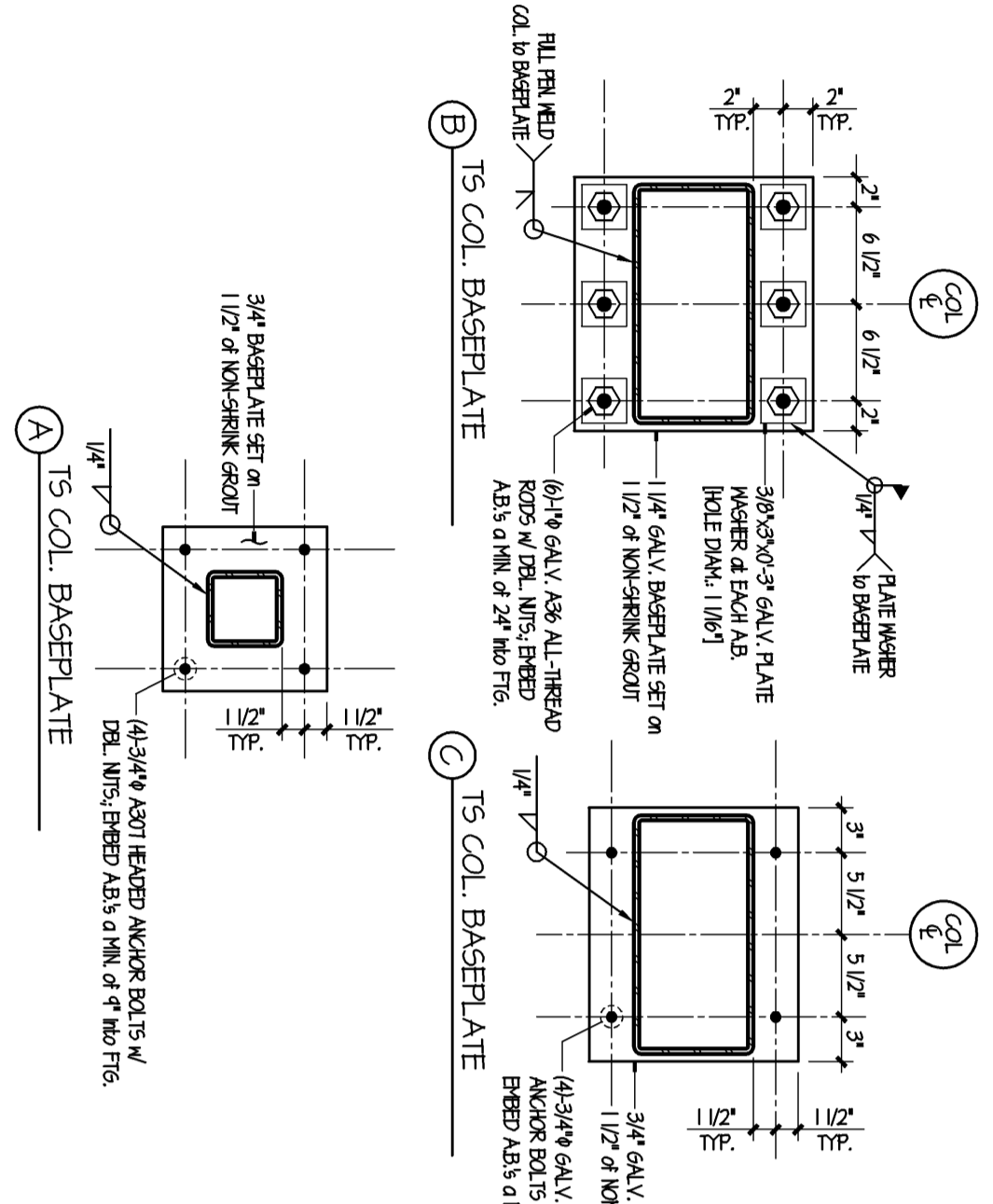
5 JOIST BRG. at EXT. WALL HIGH SIDE
1" = 1'-0"



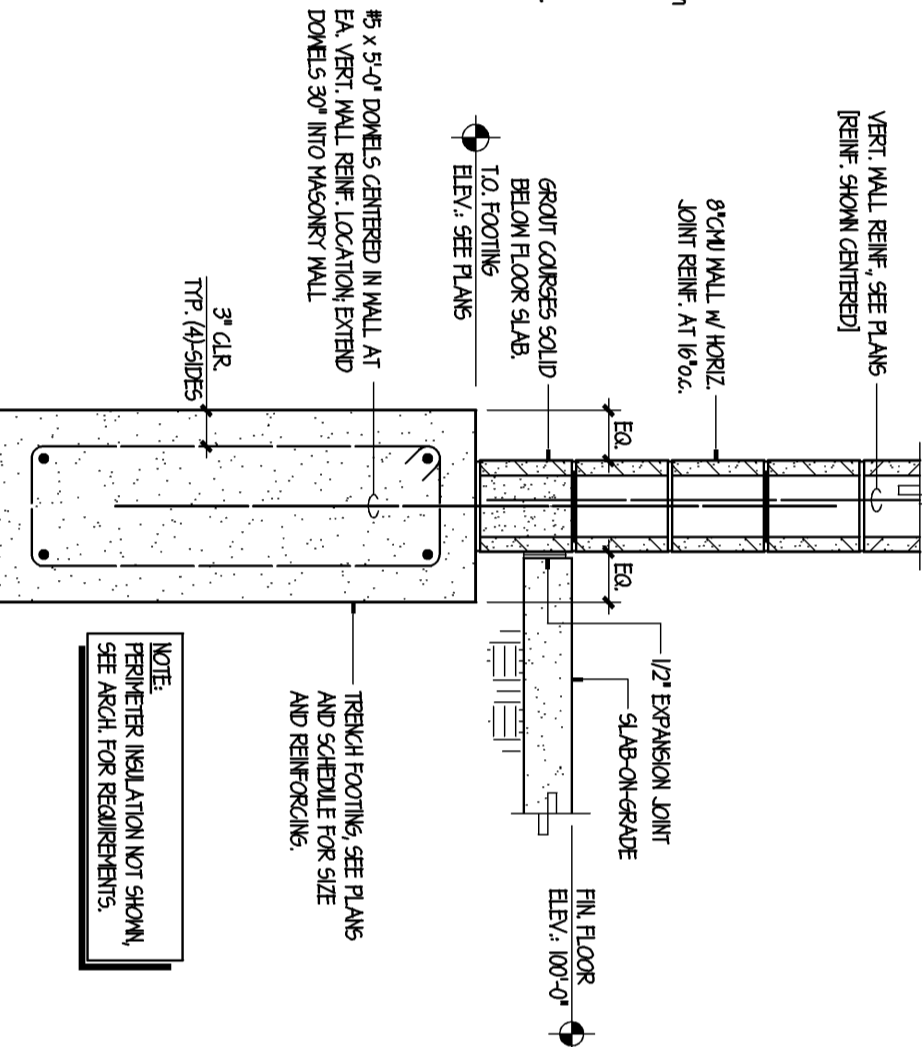
6 DECK BRG. ALONG CMU WALL
1" = 1'-0"



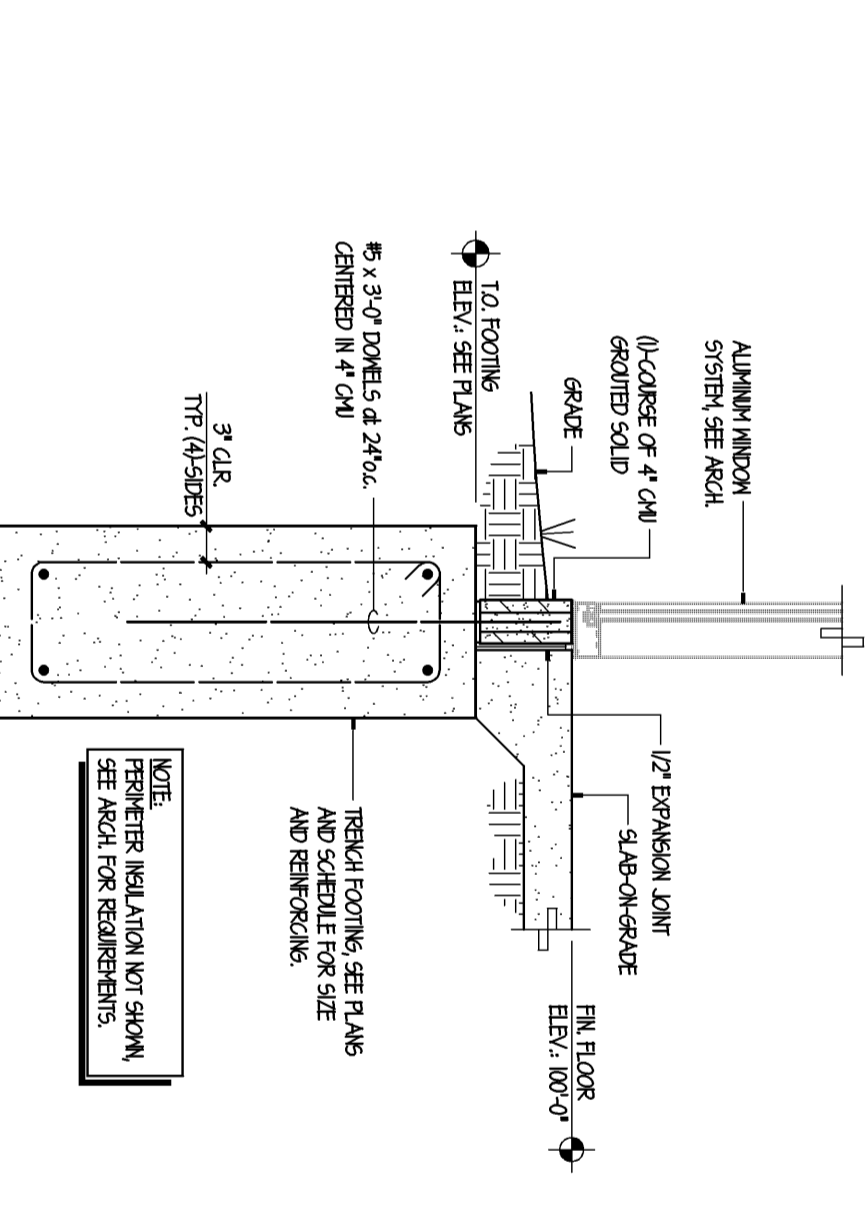
7 COLUMN PAD FOOTING
NO SCALE



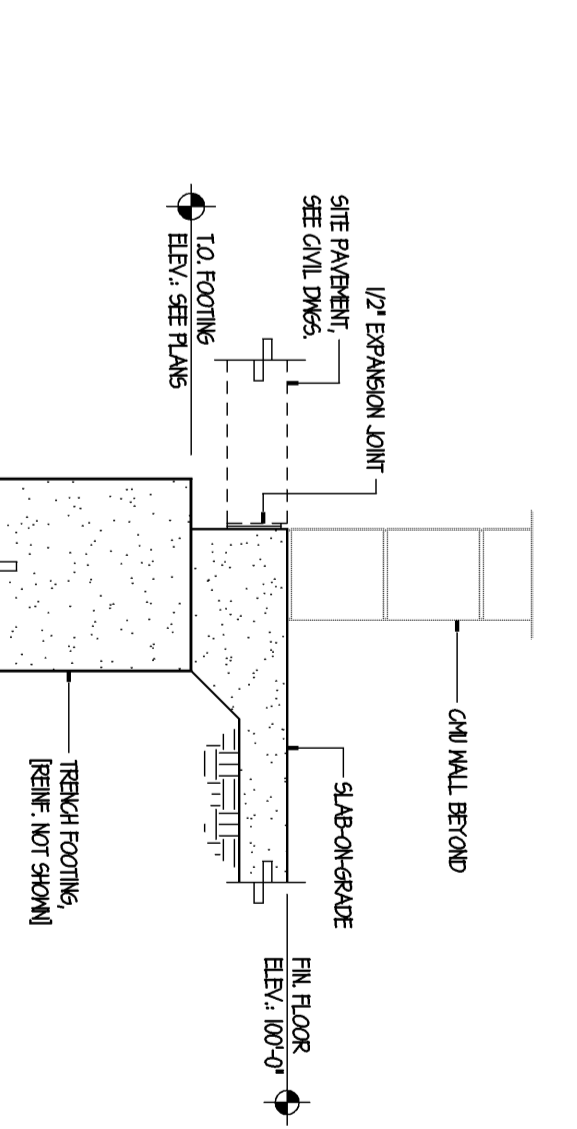
8 COLUMN BASEPLATE DETAILS
NO SCALE



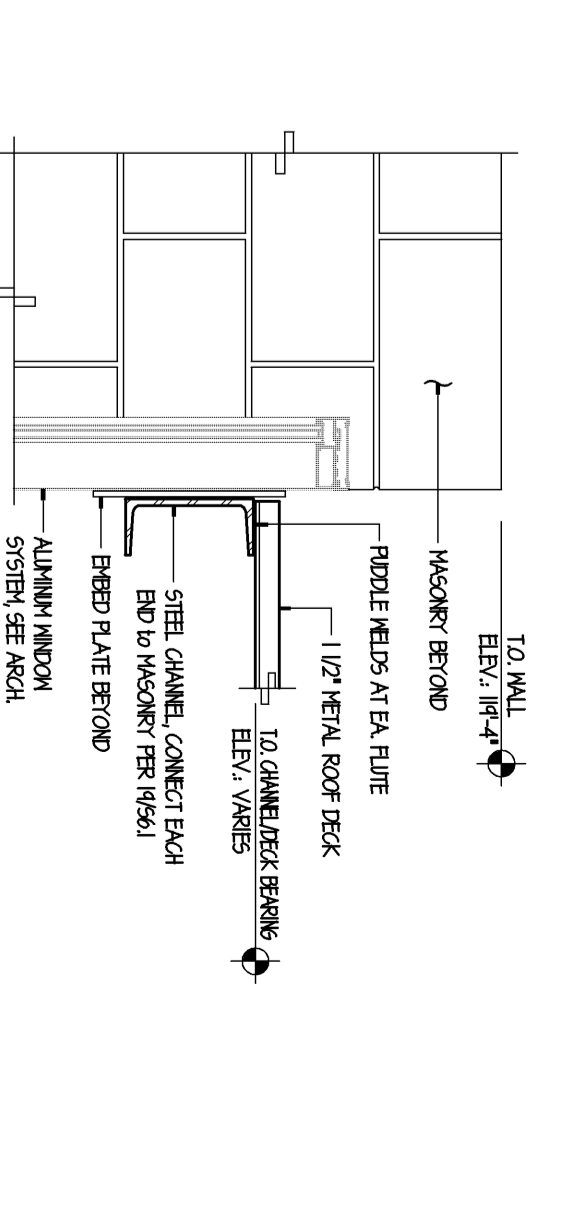
9 EXTERIOR TRENCH FOOTING
3/4" = 1'-0"



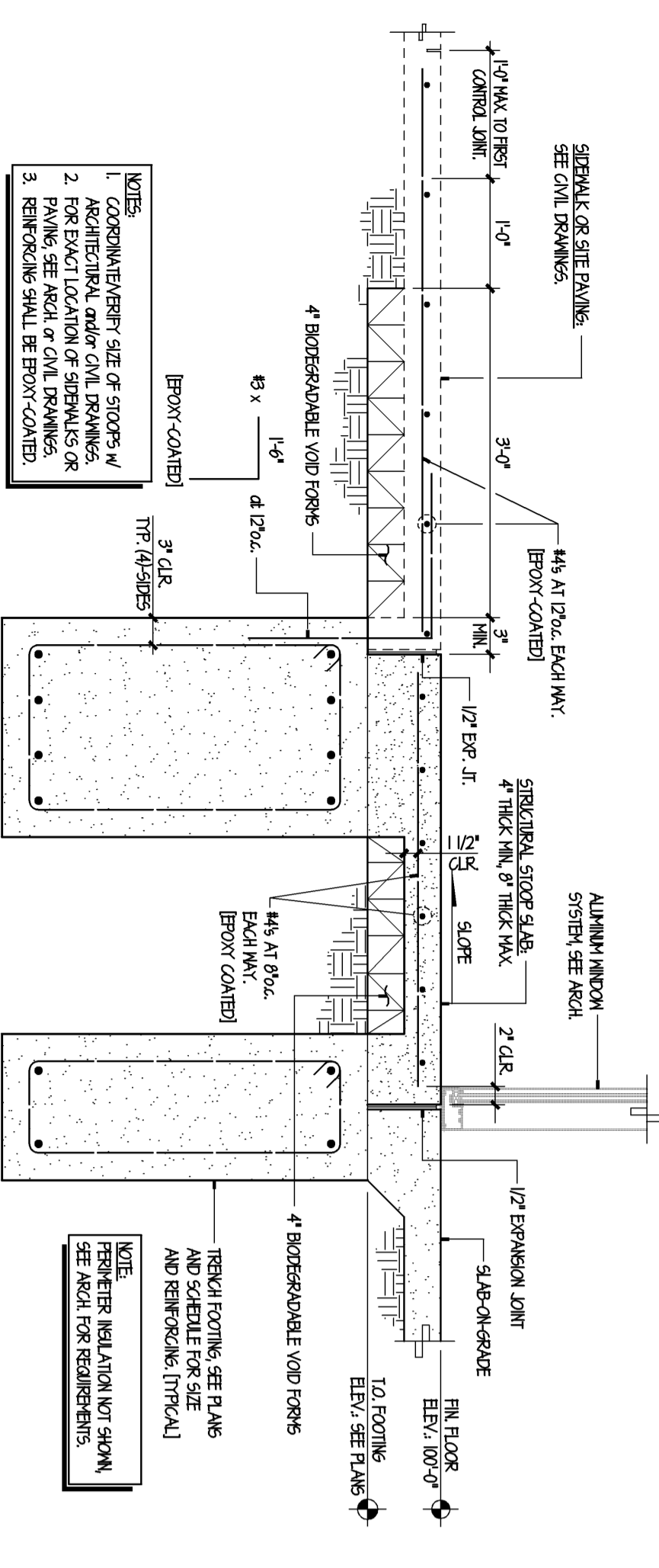
10 EXTERIOR TRENCH FOOTING
3/4" = 1'-0"



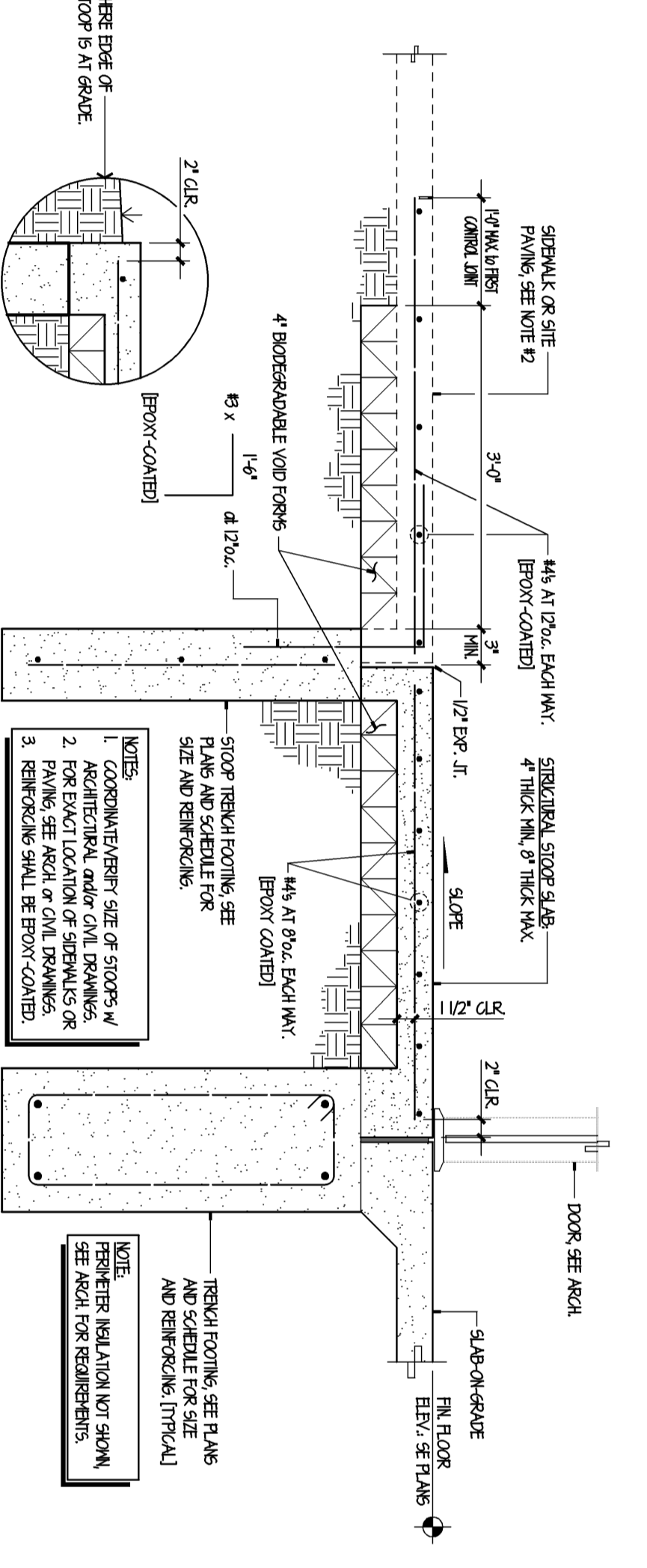
11 SECTION of OVERHEAD DOORS
3/4" = 1'-0"



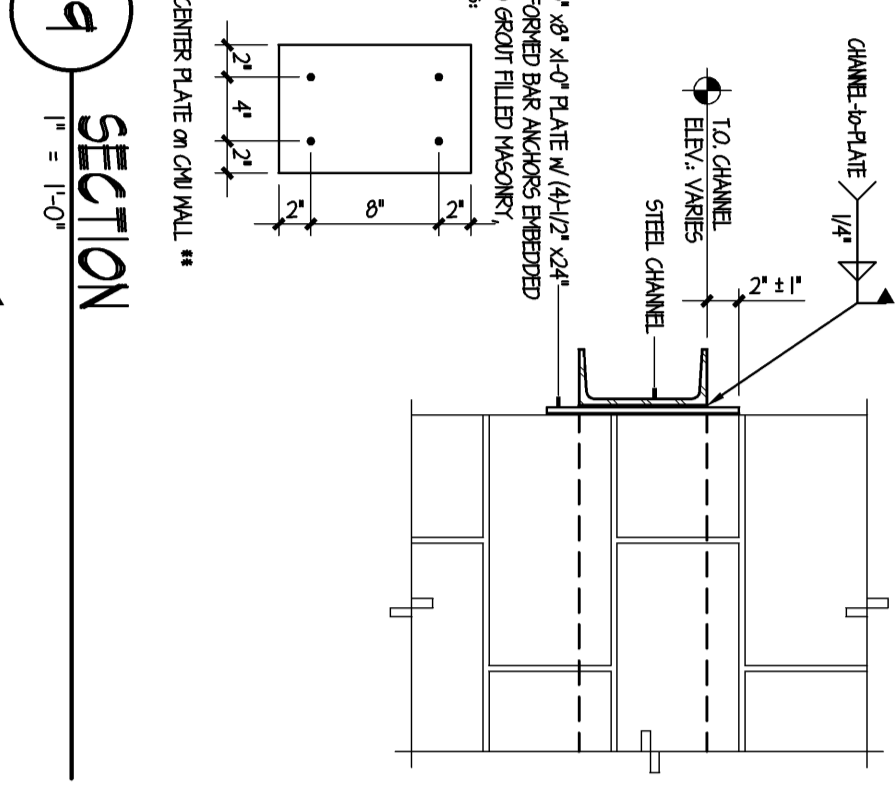
12 SECTION
1" = 1'-0"



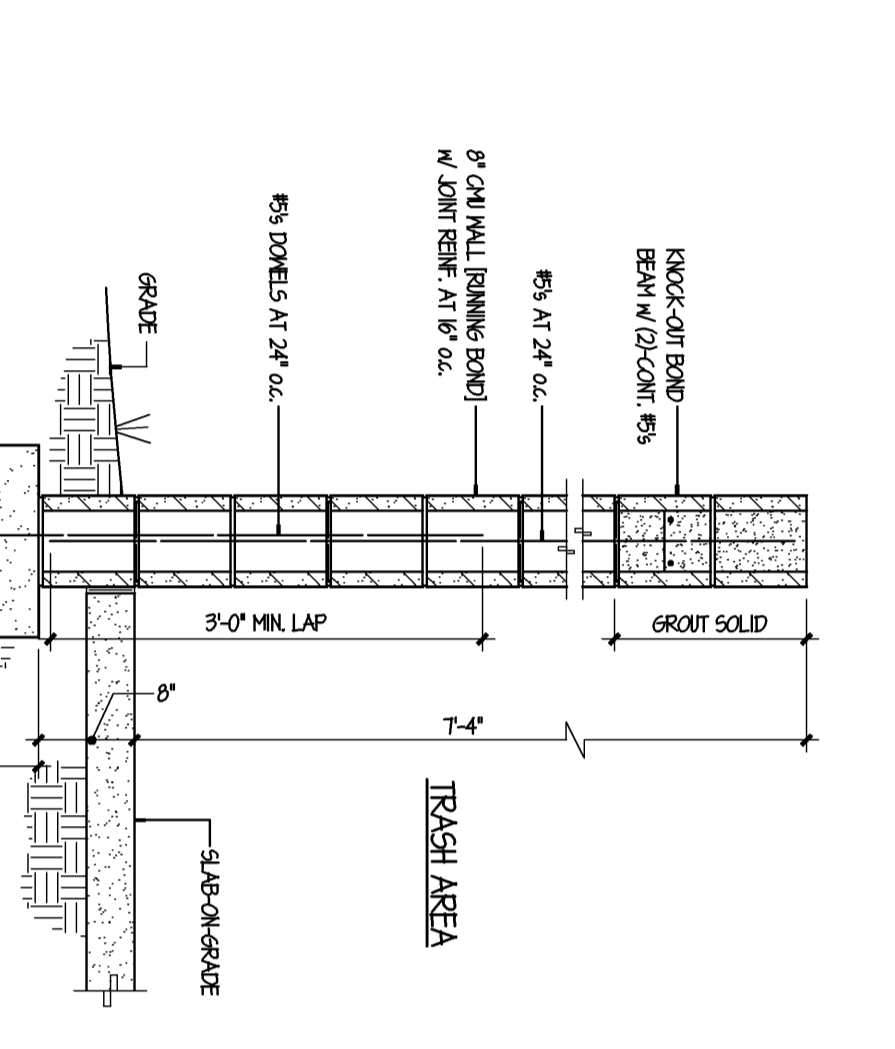
13 STRUCTURAL STOP of STORE FRONTS
3/4" = 1'-0"



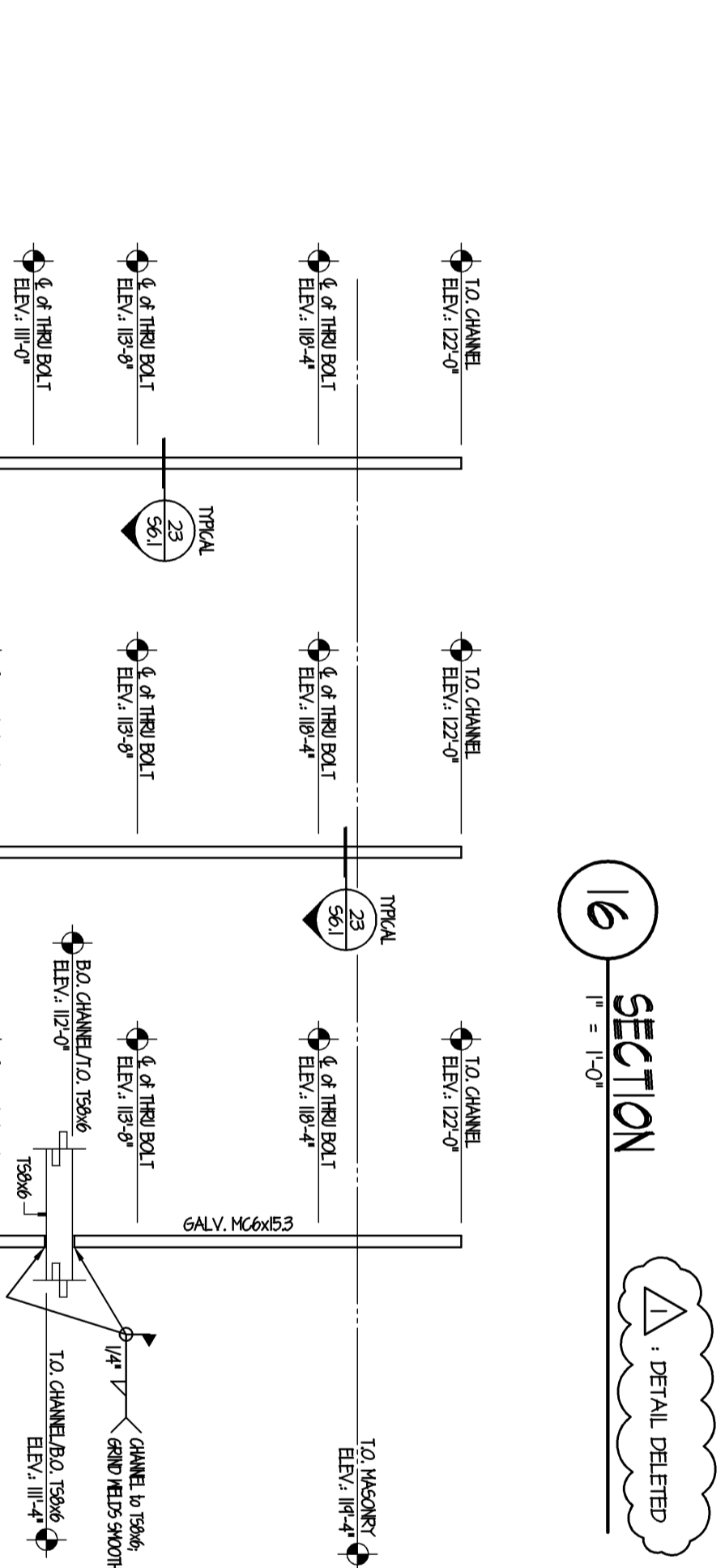
14 STRUCTURAL STOP of REAR DOORS
3/4" = 1'-0"



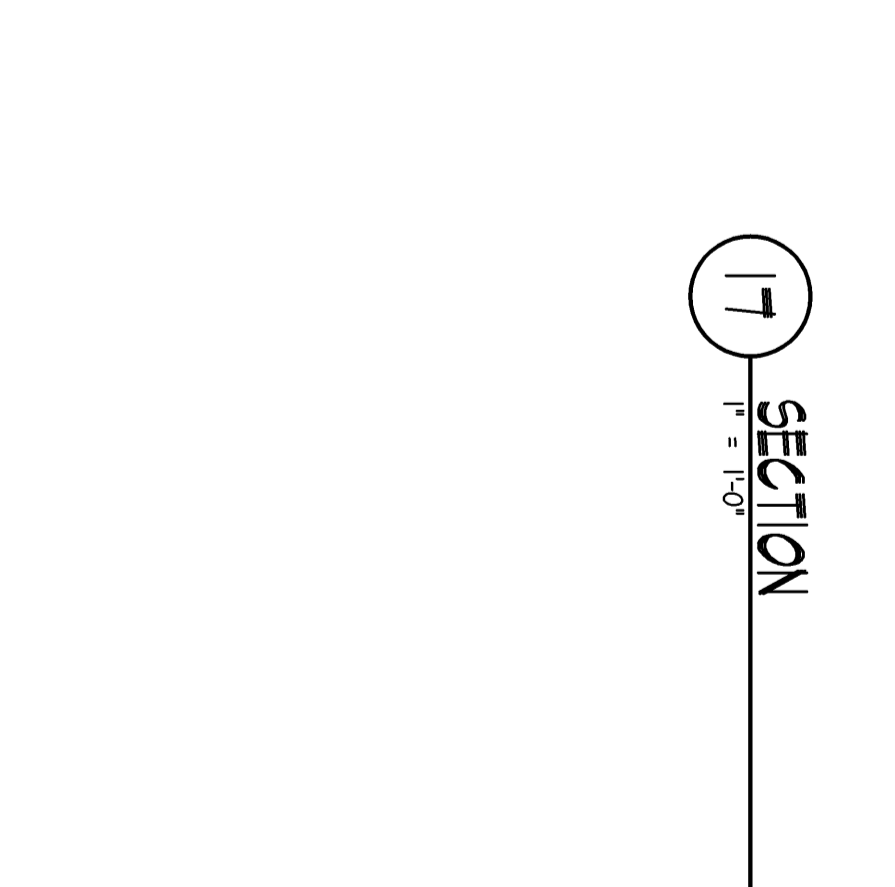
19 SECTION
1" = 1'-0"



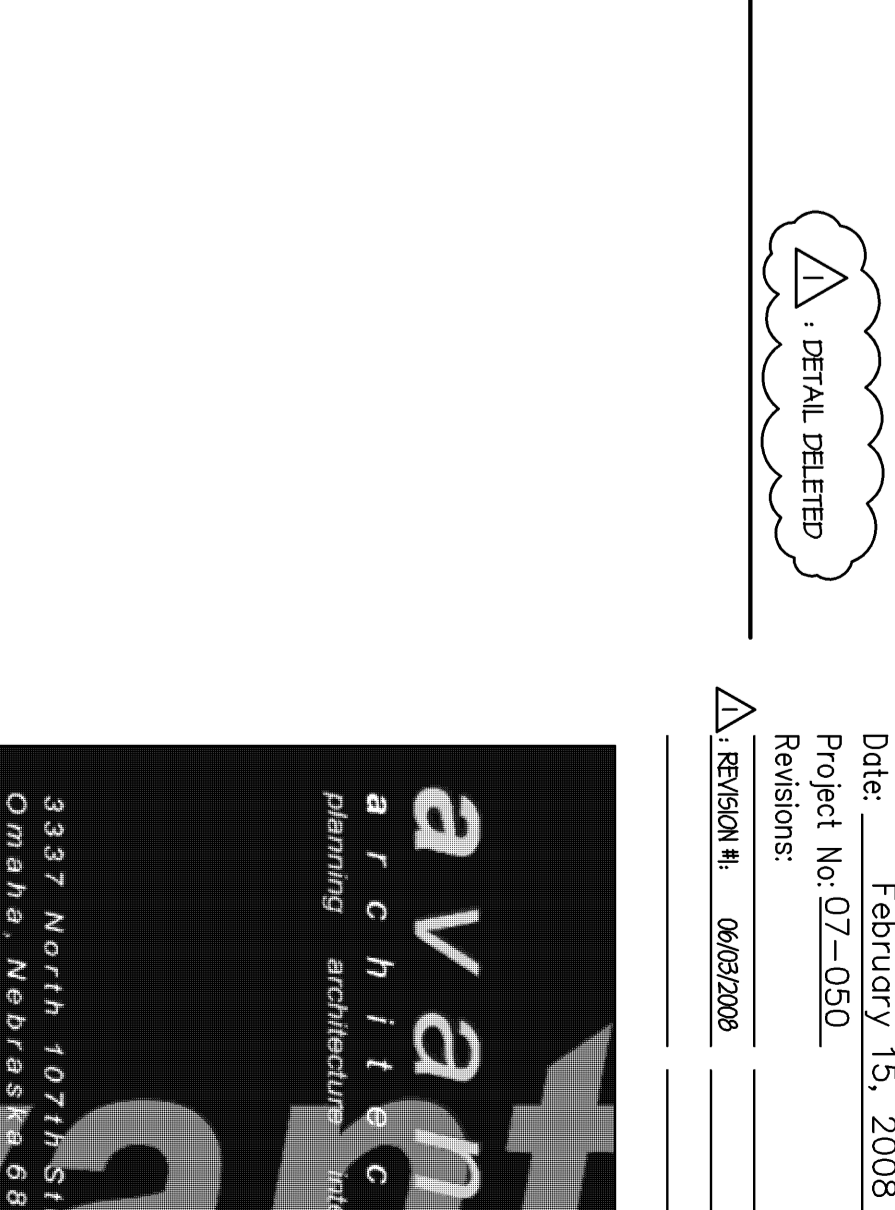
21 TRASH ENCLOSURE
3/4" = 1'-0"



22 STEEL CHANNEL ELEVATIONS
NO SCALE



17 SECTION
1" = 1'-0"



23 SECTION
1" = 1'-0"

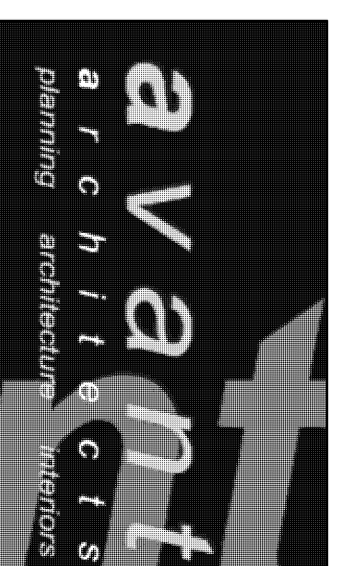
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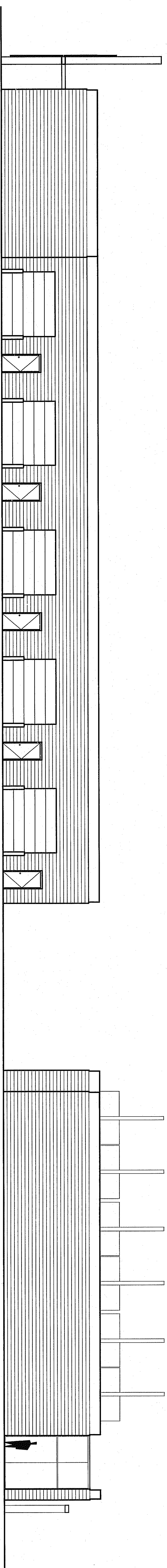
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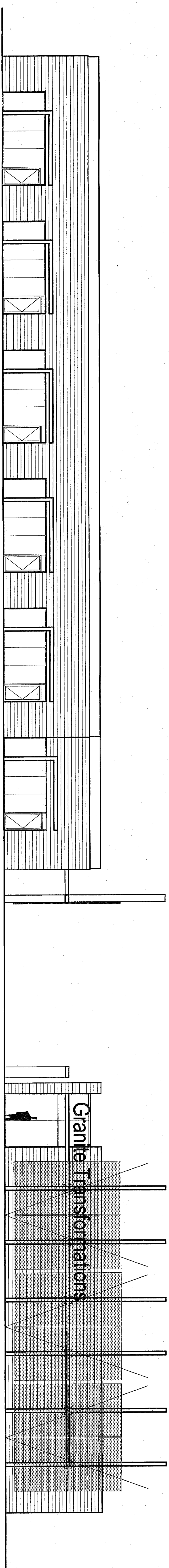
Granite Transformations
New Building
Omaha, Nebraska

Date: February 15, 2008
Project No: 07-050
Revisions: 06/03/2008





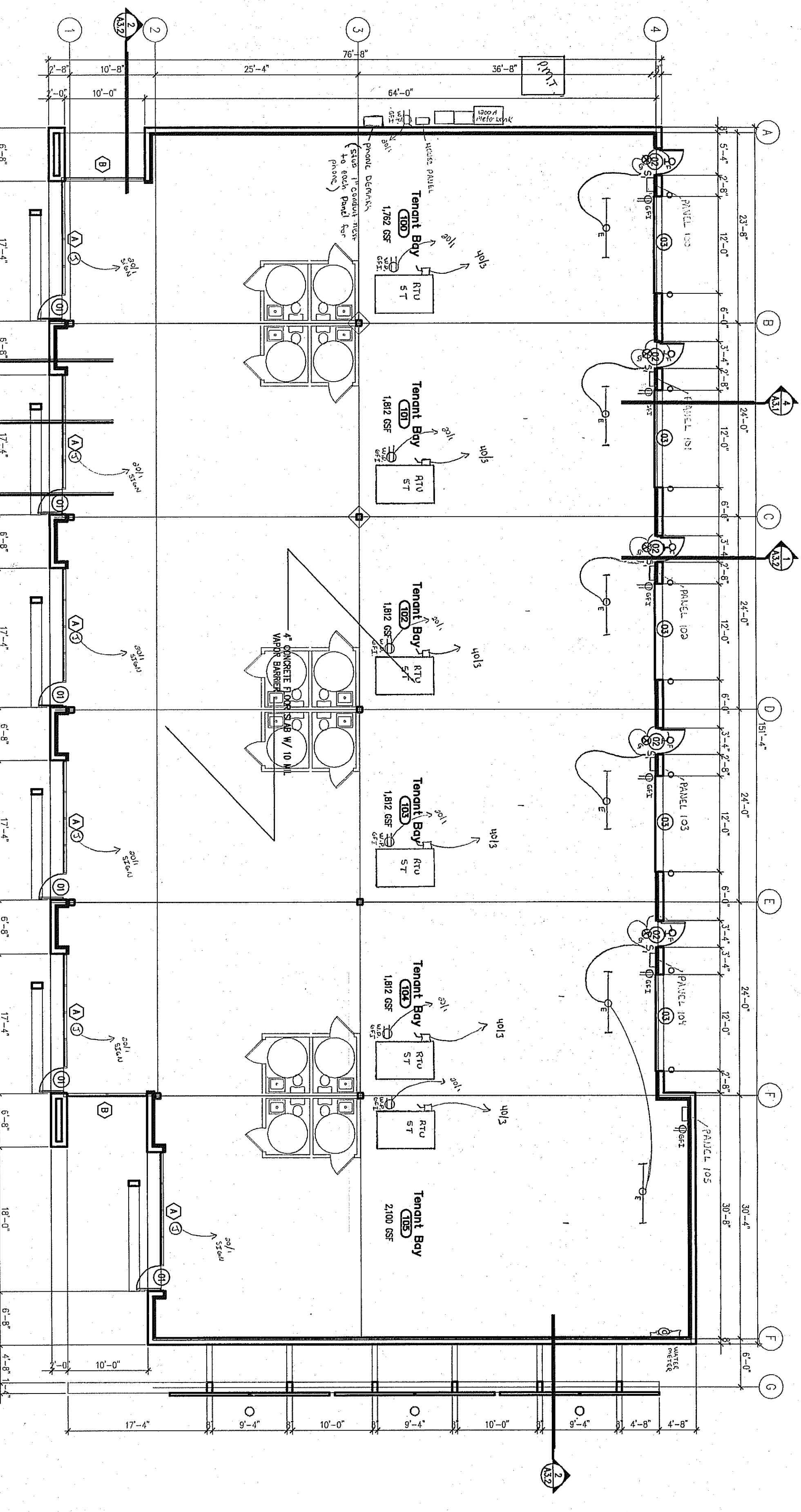
1 North Elevation
SCALE: 1/8" = 1'-0"



3 East Elevation
SCALE: 1/8" = 1'-0"

2 South Elevation
SCALE: 1/8" = 1'-0"

4 West Elevation
SCALE: 1/8" = 1'-0"



Handwritten initials/signature

E-1

Granite Transformations
New Building
Omaha, Nebraska

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Date: January 9, 2008
Project No: 07-050
Revisions:

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