

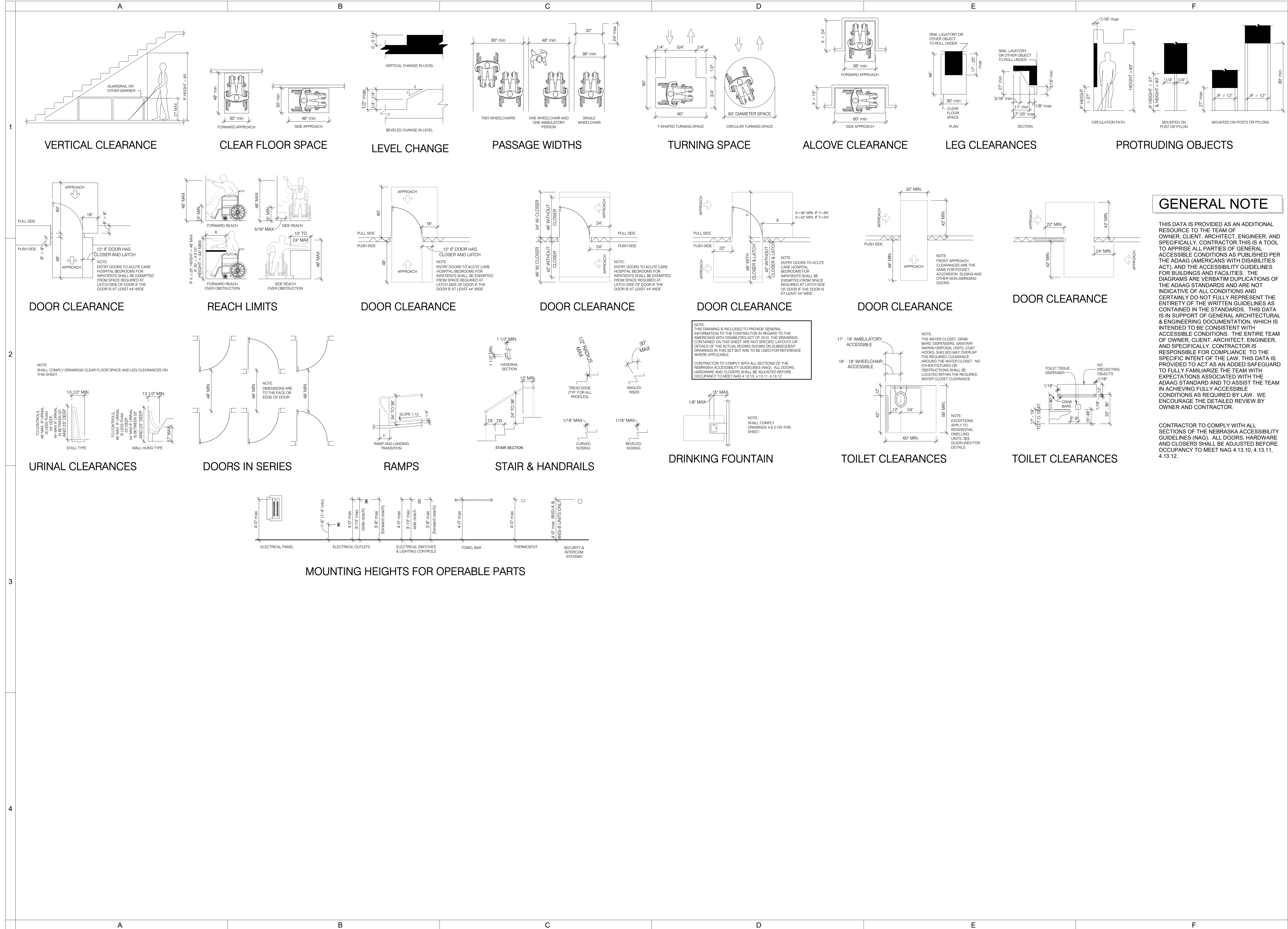
Quantum
Wolf Creek 2 Apartments
110 Plex

ACCESSIBILITY NOTES & DETAILS

NO. > ISSUED FOR > DATE >

JOB NO. > 5201700

A003



GENERAL NOTE

THIS DATA IS PROVIDED AS AN ADDITIONAL RESOURCE TO THE TEAM OF OWNER, CLIENT, ARCHITECT, ENGINEER, AND SPECIFICALLY, CONTRACTOR. THIS IS A TOOL TO APPRISE ALL PARTIES OF GENERAL ACCESSIBLE CONDITIONS AS PUBLISHED PER THE ADAAG (AMERICANS WITH DISABILITIES ACT), AND THE ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES. THE DIAGRAMS ARE VERBATIM DUPLICATIONS OF THE ADAAG STANDARDS AND ARE NOT INDICATIVE OF ALL CONDITIONS AND CERTAINLY DO NOT FULLY REPRESENT THE ENTIRETY OF THE WRITTEN GUIDELINES AS CONTAINED IN THE STANDARDS. THIS DATA IS IN SUPPORT OF GENERAL ARCHITECTURAL & ENGINEERING DOCUMENTATION, WHICH IS INTENDED TO BE CONSISTENT WITH ACCESSIBLE CONDITIONS. THE ENTIRE TEAM OF OWNER, CLIENT, ARCHITECT, ENGINEER, AND SPECIFICALLY, CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO THE SPECIFIC INTENT OF THE LAW. THIS DATA IS PROVIDED TO ACT AS AN ADDED SAFEGUARD TO FULLY FAMILIARIZE THE TEAM WITH EXPECTATIONS ASSOCIATED WITH THE ADAAG STANDARD AND TO ASSIST THE TEAM IN ACHIEVING FULLY ACCESSIBLE CONDITIONS AS REQUIRED BY LAW. WE ENCOURAGE THE DETAILED REVIEW BY OWNER AND CONTRACTOR.

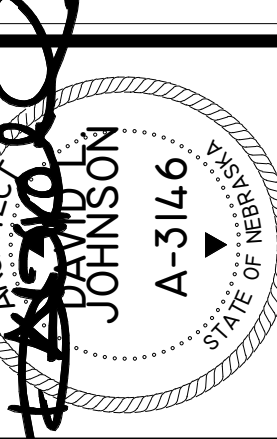
CONTRACTOR TO COMPLY WITH ALL SECTIONS OF THE NEBRASKA ACCESSIBILITY GUIDELINES (NAG). ALL DOORS, HARDWARE AND CLOSERS SHALL BE ADJUSTED BEFORE OCCUPANCY TO MEET NAG 4.13.10, 4.13.11, 4.13.12.

UNIT COUNT >

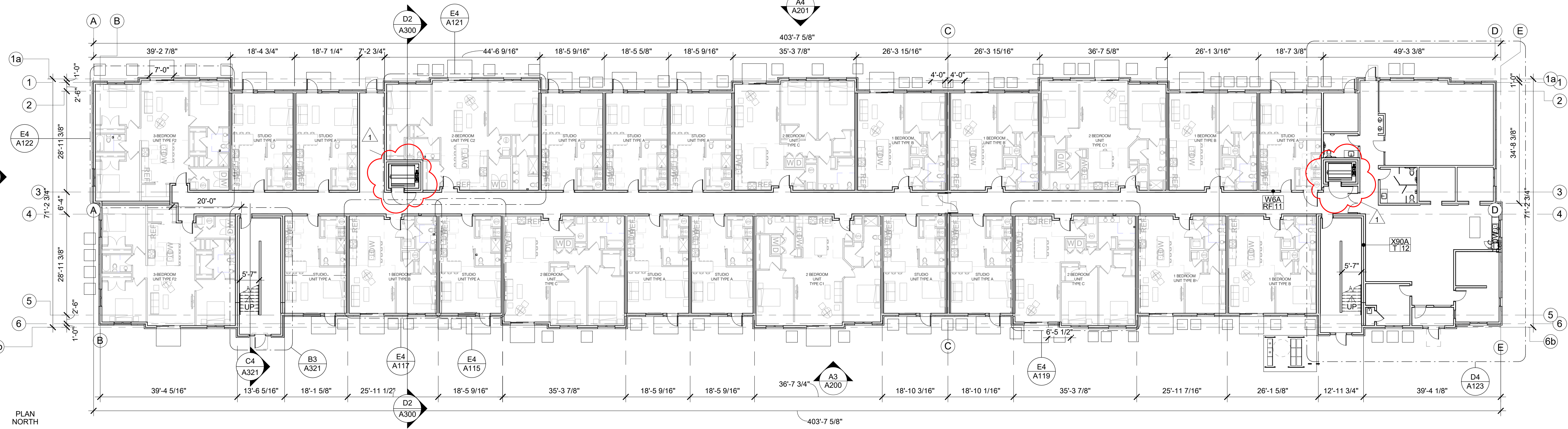
UNIT TYPE	QUANTITY	SF / Unit
UNIT A	42 (12 @ FIRST FLOOR; 10 @ FLOORS 2, 3, 4)	536
UNIT A1	3 (1 @ FLOORS 2, 3, 4)	735
STUDIOS	45	
UNIT B (ANSI B)	24 (7 @ FIRST FLOOR; 6 @ FLOORS 2, 3, 4)	744
UNIT B2 (ANSI A)	3 (1 @ FLOORS 2, 3, 4)	744
1-BEDROOMS	27	
UNIT C (2 BED / 1 BATH)	12 (3 / FLOOR)	1104
UNIT C1 (2 BED / 2 BATH)	8 (2 / FLOOR)	1148
UNIT C2	4 (1 / FLOOR)	1284
2-BEDROOMS	24	
UNIT F2 (CORNER UNIT)	14 (2 @ FIRST FLOOR) (4 @ FLOORS 2, 3, 4)	1291
3-BEDROOMS	14	
Total Count :	110 Units	



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A3 SECOND-FOURTH PLANS
1/16" = 1'-0" 0' 24'



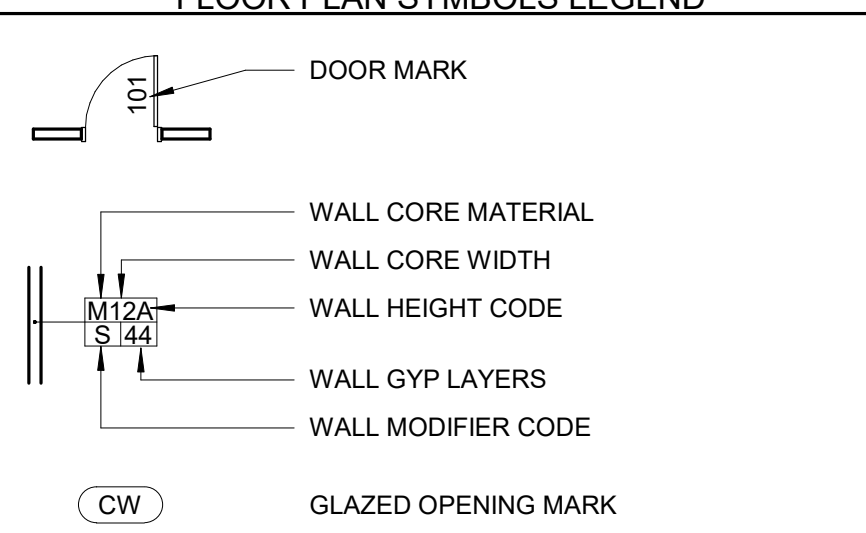
A4 FIRST FLOOR PLAN
1/16" = 1'-0" 0' 24'

Quantum
Wolf Creek 2 Apartments
110 Plex
OVERALL PLANS

NO. >	ISSUED FOR >	DATE >
1	Conveying Equipment	02/08/2022

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A100



- ### FLOOR PLAN NOTES
- COORDINATE THE LOCATION OF ALL WALL REINFORCEMENT AND BLOCKING PRIOR TO THE INSTALLATION OF THE DRYWALL AND MILLWORK. PROVIDE BLOCKING FOR TOILET ACCESSORIES, GRAB BARS, HANDRAILS, COAT HOOKS, SHELVING, FITTING ROOM PARTITIONS, WALL-MOUNTED EQUIPMENT, SURFACE-MOUNTED STANDARDS OR FIXTURES, MILLWORK, ETC., AS REQUIRED FOR ANCHORING IN DRYWALL PARTITIONS. COORDINATE WITH OWNER FOR LOCATIONS OF WALL HUNG DEVICES NOT INSTALLED BY CONTRACTOR THAT REQUIRE BLOCKING. WOOD BLOCKING TO BE FIRE RETARDANT WHERE REQUIRED BY CODE.
 - WATER-RESISTANT GYPSUM BOARD SHALL BE USED FOR STUD PARTITIONS IN TOILET ROOMS, JANITOR'S CLOSETS, FIRE SERVICE ROOMS, MECHANICAL ROOMS, AND ANY ADDITIONAL LOCATIONS DESIGNATED IN CONTRACT DOCUMENTS.
 - WHERE STRUCTURAL ELEMENTS INTERFERE WITH FIRE-RATED PARTITIONS, FRAME TOP OF WALL AROUND STRUCTURAL ELEMENT.
 - REFER TO DRAWINGS OF ALL TRADES FOR ADDITIONAL INFORMATION REGARDING ITEMS PENETRATING FLOORS, WALLS, AND CEILINGS.
 - ALL NEW PARTITIONS ARE DIMENSIONED TO FACE OF STUD, MASONRY, OR CONCRETE COMPONENT UNLESS NOTED OTHERWISE. DIMENSIONS TO EXISTING ELEMENTS ARE TO EXPOSED FACE.
 - ALL DOORS IN STUD WALL CONSTRUCTION ARE TO BE LOCATED WITH EDGE OF FRAME 4" FROM FACE OF ADJACENT PARTITION UNLESS NOTED OTHERWISE. DIMENSIONS LOCATING DOORS NOT DIRECTLY ADJACENT TO WALLS ARE GIVEN TO OUTSIDE EDGE OF FRAME.
 - ALL ANGLED PARTITIONS SHOWN SHALL BE AT A 45° ANGLE UNLESS NOTED OTHERWISE.
 - UNLESS OTHERWISE NOTED, ALL INTERIOR DOORS TO BE LOCATED AT THE CENTER OF CLOSET WALL
 - ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING.
 - PROVIDE DRAFT STOPS IN COMBUSTIBLE FLOOR TRUSSES AREA OVER 1,000 SF.

- ### DOOR HARDWARE NOTES
- PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
 - PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
 - VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
 - ALL GLASS IN DOORS TO BE TEMPERED
 - PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS.
 - INTERIOR DOOR LATCHES TO BE SCHLAGE "A SERIES" LEVERS OR EQUAL TO BE INSTALLED @ 41" AFF
 - INTERIOR DOORS WITH PUSH OR PULL PLATES TO BE INSTALLED @ 48" AFF

ABBREVIATIONS

AL	ALUMINUM
AN	ANODIZED - COLOR SELECTED BY OWNER
CL	CLAD (ALUMINUM - PREFINISHED)
FG	FULL GLASS - MEDIUM STYLE
FL	FLUSH
HM	HOLLOW METAL
PF	PREFINISHED
PT	PAINTED
ST	STAINED
STL	STEEL

KEYNOTE LEGEND

#	KEYNOTE
A13	4" THICK CONCRETE PAD FOR CONDENSING UNIT, REINFORCING: 6x6 W1.4xW1.4 WWM

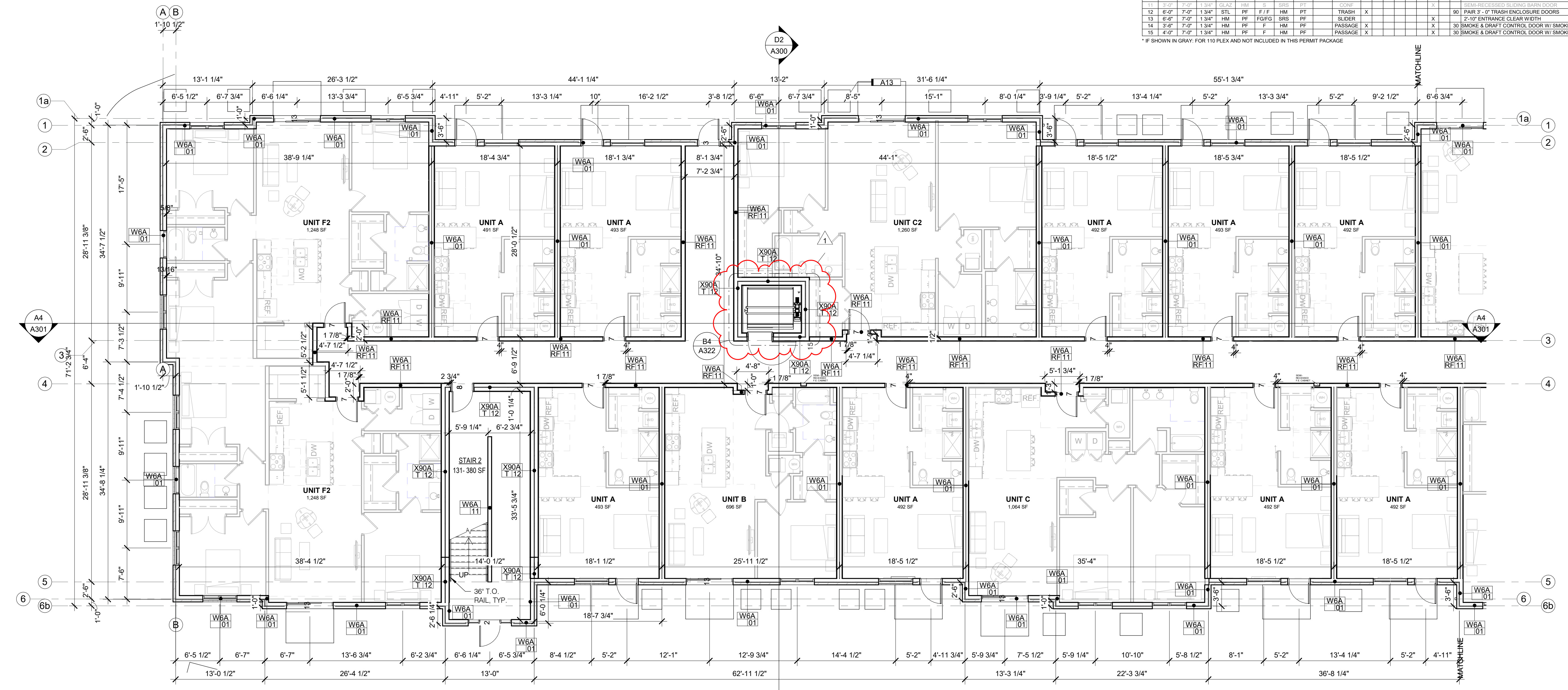
OVERALL MAIN FLOOR ROOM FINISH SCHEDULE

ROOM DESIGNATION	FLOOR	WALLS				CEILING	REMARKS
		BASE	NORTH	SOUTH	EAST		
GARAGE	CONCRETE	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
ELEVATOR	CONCRETE	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
INT. CORRIDOR	CARPET	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
STAIR	CARPET	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX

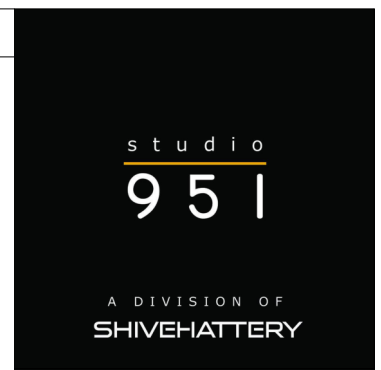
MAIN FLOOR DOOR & FRAME SCHEDULE

MARK	DOOR		FRAME		HARDWARE										REMARKS			
	WIDTH	HEIGHT	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP	WALL STOP	THRESHOLD	CARD READER		FIRE R.T.C. (MIN)		
1	9'-0"	7'-0"	1"	STL	PF	OHSF	STL	PT										INSULATION STL DR. 2 REMOTES PER DR
2	3'-0"	7'-0"	1-3/4"	HM	PT	FG	AL	PT										
3	3'-0"	7'-0"	1-3/4"	HM	PT	FG	HM	PT										
4	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT										
5	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT										80 PAIR 2" - 10"
6	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT										80 PAIR 2" - 10"
7	3'-0"	7'-0"	1-3/4"	WD	PT	F	WD	PT										25 UNIT ENTRY DOORS W/ VIEWER
8	3'-0"	7'-0"	1-3/4"	WD	PT	NOV	HM	PT										80
9	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT										
10	3'-0"	7'-0"	1-3/4"	GLAZ	HM	SP	HM	PT										FITNESS ROOM AMENITIES
11	3'-0"	7'-0"	1-3/4"	GLAZ	HM	SP	SRS	PT										80 PAIR 2" - 10"
12	6'-0"	7'-0"	1-3/4"	STL	PF	F	F	HM	PT									80 PAIR 2" - 10"
13	6'-0"	7'-0"	1-3/4"	HM	PF	FGFG	SRS	PF										2-10" ENTRANCE CLEAR WIDTH
14	3'-6"	7'-0"	1-3/4"	HM	PF	F	HM	PF										30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL
15	4'-0"	7'-0"	1-3/4"	HM	PF	F	HM	PF										30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL

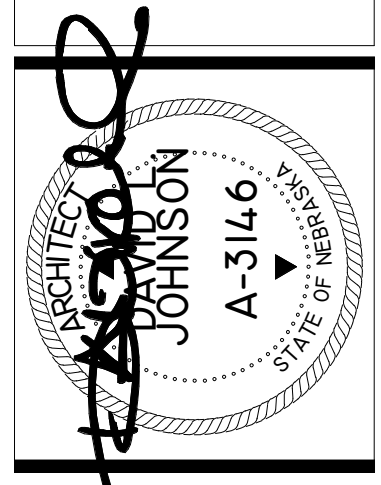
* IF SHOWN IN GRAY: FOR 110 PLEX AND NOT INCLUDED IN THIS PERMIT PACKAGE



A4 FIRST FLOOR PARTIAL PLAN
1/8" = 1'-0"



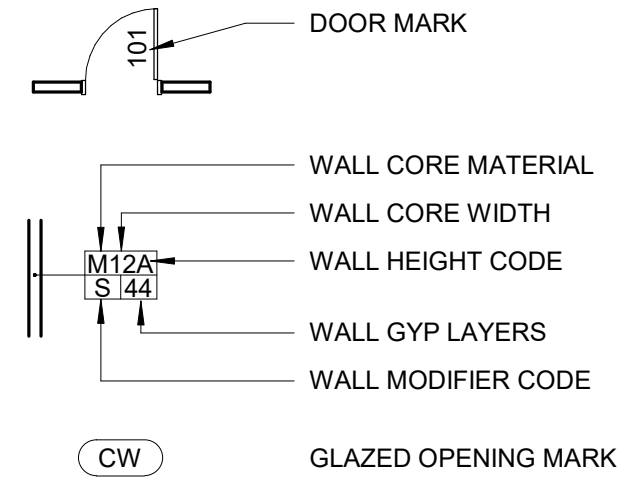
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Quantum
Wolf Creek 2 Apartments
110 Plex
FIRST FLOOR PLAN

NO. >	ISSUED FOR >	DATE >
1	Conveying Equipment	02/08/2022

FLOOR PLAN SYMBOLS LEGEND



FLOOR PLAN NOTES

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FL	FLUSH
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PF	PREFINISHED
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ST	STAINED
STL	STEEL

KEYNOTE LEGEND

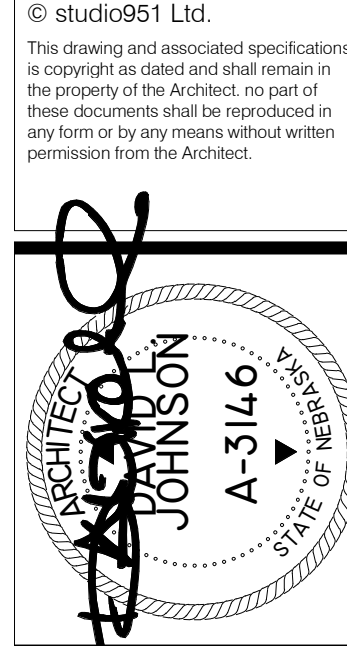
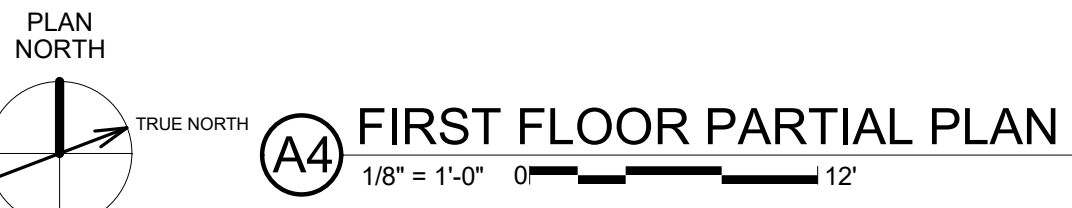
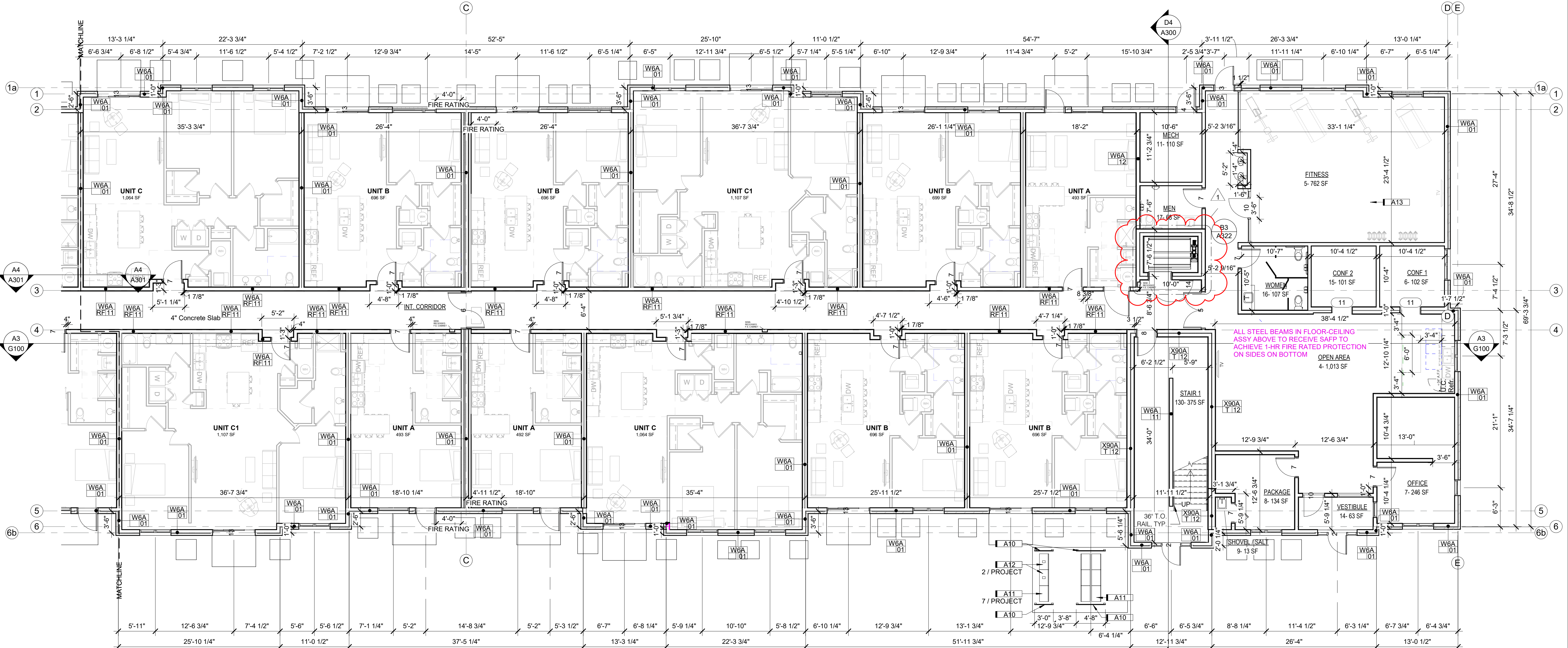
#	KEYNOTE
A10	6" TALL WOOD SCREENING FENCE
A11	CBU MAILBOX (CLUSTER BOX UNIT) ON PEDESTAL; (16) TENANT DOORS AND (2) PARCEL LOCKERS; BASIS OF DESIGN: FLORENCE CORPORATION VITAL 1570-16
A12	OUTDOOR PARCEL LOCKER ON PEDESTAL WITH (4) LOCKERS; BASIS OF DESIGN: FLORENCE CORPORATION VALIANT 1590-12
A13	4" THICK CONCRETE PAD FOR CONDENSING UNIT, REINFORCING: 6x6 W1.4xW1.4 WWM

OVERALL MAIN FLOOR ROOM FINISH SCHEDULE

ROOM DESIGNATION	FLOOR	BASE	WALLS				CEILING	REMARKS
			NORTH	SOUTH	EAST	WEST	MATERIAL	
GARAGE	CONCRETE	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	
ELEVATOR	CONCRETE	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	
INT. CORRIDOR	CARPET	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	
STAIR	CARPET	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	

MAIN FLOOR DOOR & FRAME SCHEDULE

MARK	DOOR		FRAME		HARDWARE										REMARKS						
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE		FLOOR STOP	WALL STOP	THRESHOLD	CARD READER	FIRE RTC (MIN)	
1	9'-0"	7'-0"	1"	STL	PF	CHSF	STL	PT													INSULATION STL DR. 2 REMOTES PER DR
2	3'-0"	7'-0"	1-3/4"	HM	PT	FG	AL	PT	3	ENTRANCE	X	X	X	X	X	X	X	X	X	X	
3	3'-0"	7'-0"	1-3/4"	HM	PT	FG	HM	PT	3	ENTRANCE	X	X	X	X	X	X	X	X	X	X	
4	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT	3	MECH	X	X	X	X	X	X	X	X	X	X	
5	5'-8"	7'-0"	1-3/4"	HM	PT	F	F	HM	PT	3	CORRIDOR	X	X	X	X	X	X	X	X	X	30 PAIR 2" - 10"
6	5'-8"	7'-0"	1-3/4"	HM	PT	F	F	HM	PT	3	CORRIDOR	X	X	X	X	X	X	X	X	X	30 PAIR 2" - 10"
7	3'-0"	7'-0"	1-3/4"	HM	PT	F	WD	PT	3	UNIT ENT.	X	X	X	X	X	X	X	X	X	X	25 UNIT ENTRY DOORS W/ VIEWER
8	3'-0"	7'-0"	1-3/4"	HM	PT	F	WD	PT	3	UNIT ENT.	X	X	X	X	X	X	X	X	X	X	25 UNIT ENTRY DOORS W/ VIEWER
9	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT	3	GARAGE	X	X	X	X	X	X	X	X	X	X	
10	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT	3	FITNESS	X	X	X	X	X	X	X	X	X	X	FITNESS ROOM AMENITIES
11	2'-0"	7'-0"	1-3/4"	GLAZ	HM	PF	SRS	PF	3	TRASH	X	X	X	X	X	X	X	X	X	X	30 PAIR 2" - 10"
12	6'-0"	7'-0"	1-3/4"	STL	PF	F	F	HM	PT	3	TRASH	X	X	X	X	X	X	X	X	X	30 PAIR 2" - 10"
13	6'-6"	7'-0"	1-3/4"	HM	PF	FGFG	SRS	PF	3	SLIDER	X	X	X	X	X	X	X	X	X	X	2" - 10" ENTRANCE CLEAR WITH PASSAGE
14	3'-8"	7'-0"	1-3/4"	HM	PF	F	HM	PF	3	PASSAGE	X	X	X	X	X	X	X	X	X	X	30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL
15	4'-0"	7'-0"	1-3/4"	HM	PF	F	HM	PF	3	PASSAGE	X	X	X	X	X	X	X	X	X	X	30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL

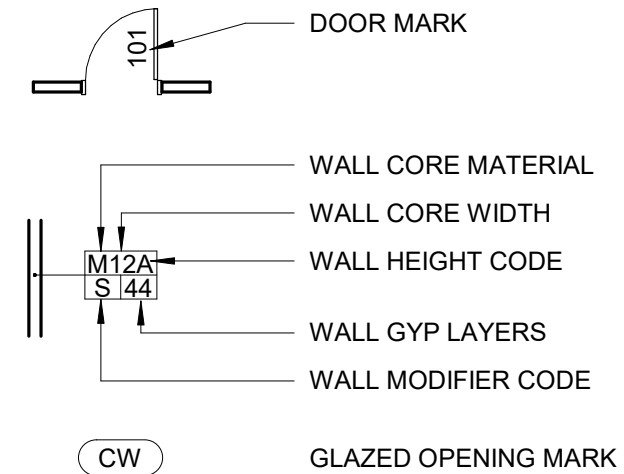


Quantum
Wolf Creek 2 Apartments
110 Plex
FIRST FLOOR PLAN

NO. > ISSUED FOR > DATE >
1 Conveying Equipment 02/09/2022

JOB NO. > 5201700
A102

FLOOR PLAN SYMBOLS LEGEND



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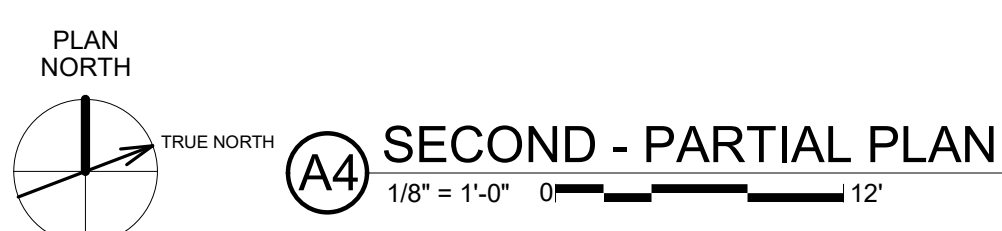
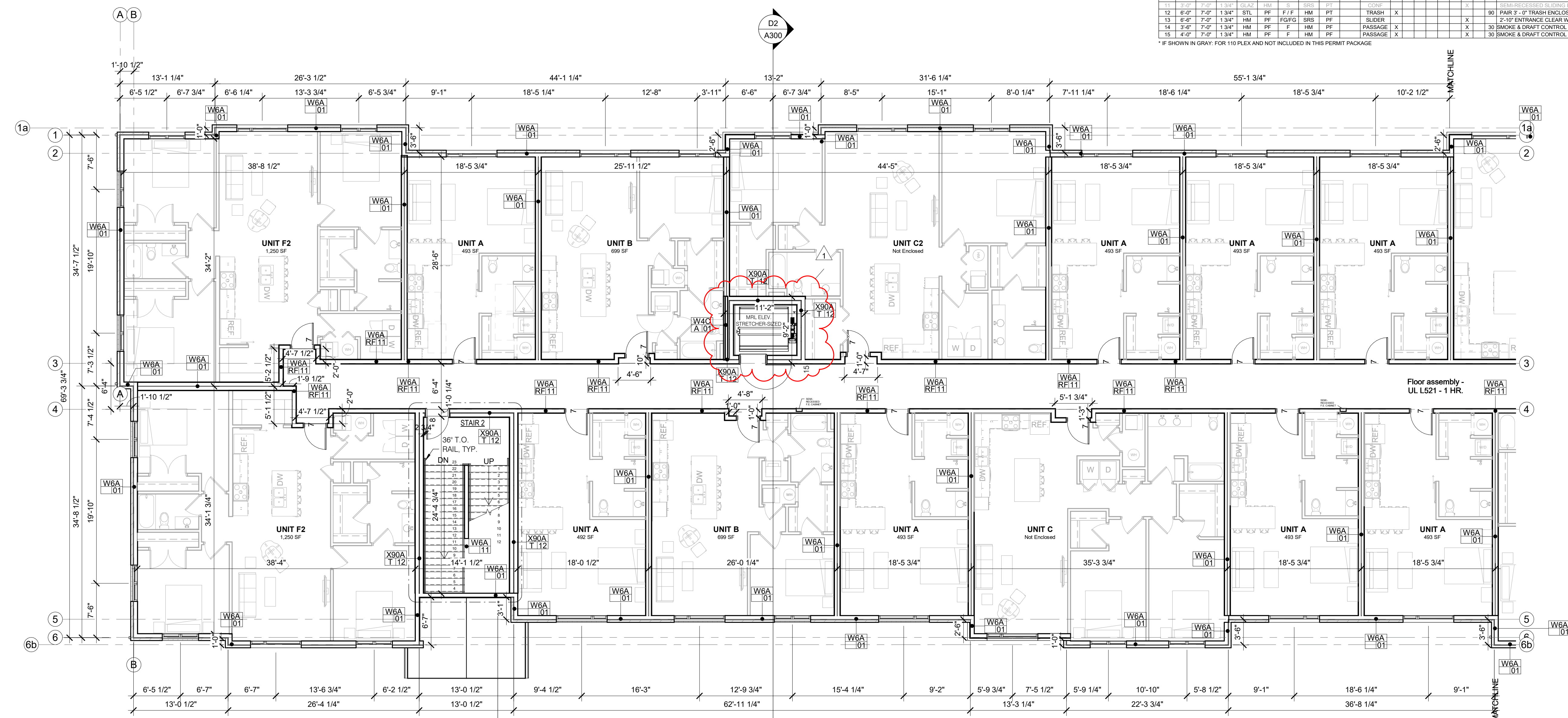
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OVERALL MAIN FLOOR ROOM FINISH SCHEDULE

ROOM DESIGNATION	FLOOR	BASE	WALLS				CEILING	REMARKS
			NORTH	SOUTH	EAST	WEST		
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ELEVATOR	CONCRETE	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	
INT. CORRIDOR	CARPET	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	
STAIR	CARPET	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	

MAIN FLOOR DOOR & FRAME SCHEDULE

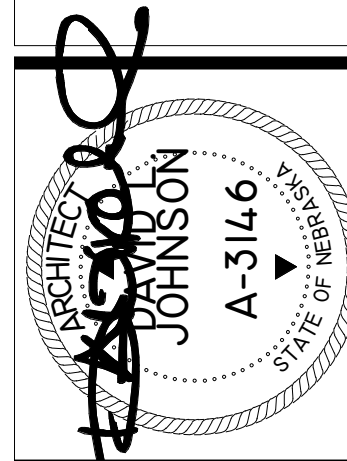
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	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP		WALL STOP	THRESHOLD	CARD READER	FIRE RTC (MIN)
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5	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									80 PAIR 2 - 10"
6	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									80 PAIR 2 - 10"
7	3'-0"	7'-0"	1-3/4"	WD	PT	F	WD	PT									25 UNIT ENTRY DOORS W/ VIEWER
8	3'-0"	7'-0"	1-3/4"	WD	PT	NOV	HM	PT									80
9	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									
10	3'-0"	7'-0"	1-3/4"	HM	PT	GLAZ	HM	PT									FITNESS ROOM AMENITIES
11	3'-0"	7'-0"	1-3/4"	HM	PT	GLAZ	HM	PT									
12	6'-0"	7'-0"	1-3/4"	STL	PF	F	SRS	PT									80 PAIR 2 - 10" TRASH ENCLOSURE DOORS
13	6'-0"	7'-0"	1-3/4"	HM	PT	FGFG	SRS	PT									2-10" ENTRANCE CLEAR WIDTH
14	3'-6"	7'-0"	1-3/4"	HM	PT	F	HM	PT									30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL
15	4'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL



SECOND - PARTIAL PLAN



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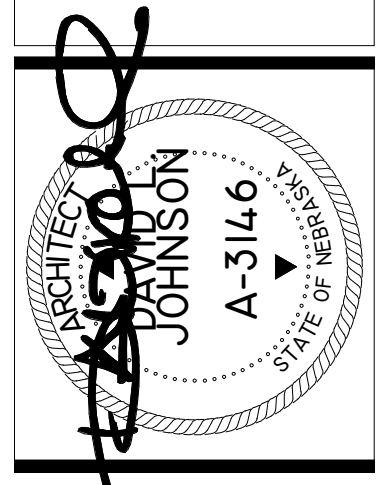
Quantum
Wolf Creek 2 Apartments
110 Plex
SECOND FLOOR PLAN

NO. ISSUED FOR: DATE:

1 Conveying Equipment 02/08/2022

JOB NO. > 5201700

A103

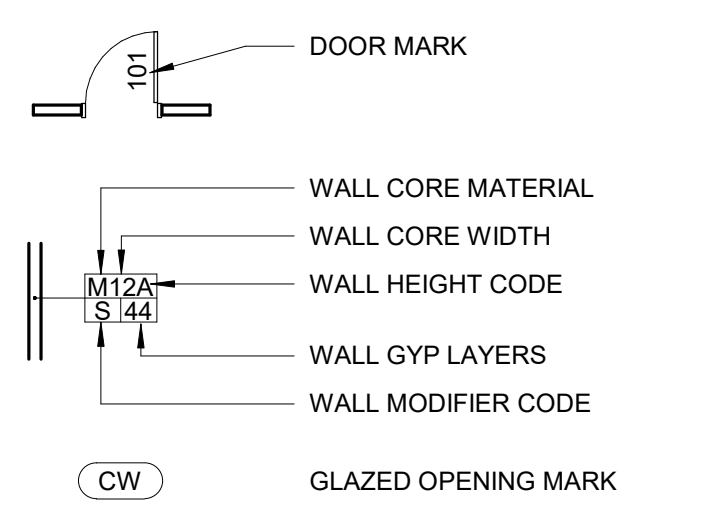


Quantum
Wolf Creek 2 Apartments
110 Plex
SECOND FLOOR PLAN

NO. ISSUED FOR: DATE:
1 Conveying Equipment 02/08/2022

JOB NO. > 5201700
A104

FLOOR PLAN SYMBOLS LEGEND



FLOOR PLAN NOTES

- COORDINATE THE LOCATION OF ALL WALL REINFORCEMENT AND BLOCKING PRIOR TO THE INSTALLATION OF THE DRYWALL AND MILLWORK. PROVIDE BLOCKING FOR TOILET ACCESSORIES, GRAB BARS, HANDRAILS, COAT HOOKS, SHELVING, FITTING ROOM PARTITIONS, WALL-MOUNTED EQUIPMENT, SURFACE-MOUNTED STANDARDS OR FIXTURES, MILLWORK, ETC., AS REQUIRED FOR ANCHORING IN DRYWALL PARTITIONS. COORDINATE WITH OWNER FOR LOCATIONS OF WALL HUNG DEVICES NOT INSTALLED BY CONTRACTOR THAT REQUIRE BLOCKING. WOOD BLOCKING TO BE FIRE RETARDANT WHERE REQUIRED BY CODE.
- WATER-RESISTANT GYPSUM BOARD SHALL BE USED FOR STUD PARTITIONS IN TOILET ROOMS, JANITOR'S CLOSETS, FIRE SERVICE ROOMS, MECHANICAL ROOMS, AND ANY ADDITIONAL LOCATIONS DESIGNATED IN CONTRACT DOCUMENTS.
- WHERE STRUCTURAL ELEMENTS INTERFERE WITH FIRE-RATED PARTITIONS, FRAME TOP OF WALL AROUND STRUCTURAL ELEMENT.
- REFER TO DRAWINGS OF ALL TRADES FOR ADDITIONAL INFORMATION REGARDING ITEMS PENETRATING FLOORS, WALLS, AND CEILINGS.
- ALL NEW PARTITIONS ARE DIMENSIONED TO FACE OF STUD, MASONRY, OR CONCRETE COMPONENT UNLESS NOTED OTHERWISE. DIMENSIONS TO EXISTING ELEMENTS ARE TO EXPOSED FACE.
- ALL DOORS IN STUD WALL CONSTRUCTION ARE TO BE LOCATED WITH EDGE OF FRAME 4" FROM FACE OF ADJACENT PARTITION UNLESS NOTED OTHERWISE. DIMENSIONS LOCATING DOORS NOT DIRECTLY ADJACENT TO WALLS ARE GIVEN TO OUTSIDE EDGE OF FRAME.
- ALL ANGLED PARTITIONS SHOWN SHALL BE AT A 45° ANGLE UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE NOTED, ALL INTERIOR DOORS TO BE LOCATED AT THE CENTER OF CLOSET WALL
- ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING.
- PROVIDE DRAFT STOPS IN COMBUSTIBLE FLOOR TRUSSES AREA OVER 1,000 SF.

DOOR HARDWARE NOTES

- PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
- PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
- VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
- ALL GLASS IN DOORS TO BE TEMPERED
- PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS.
- INTERIOR DOOR LATCHES TO BE SCHLAGE "A SERIES" LEVERS OR EQUAL TO BE INSTALLED @ 41" AFF
- INTERIOR DOORS WITH PUSH OR PULL PLATES TO BE INSTALLED @ 48" AFF

ABBREVIATIONS

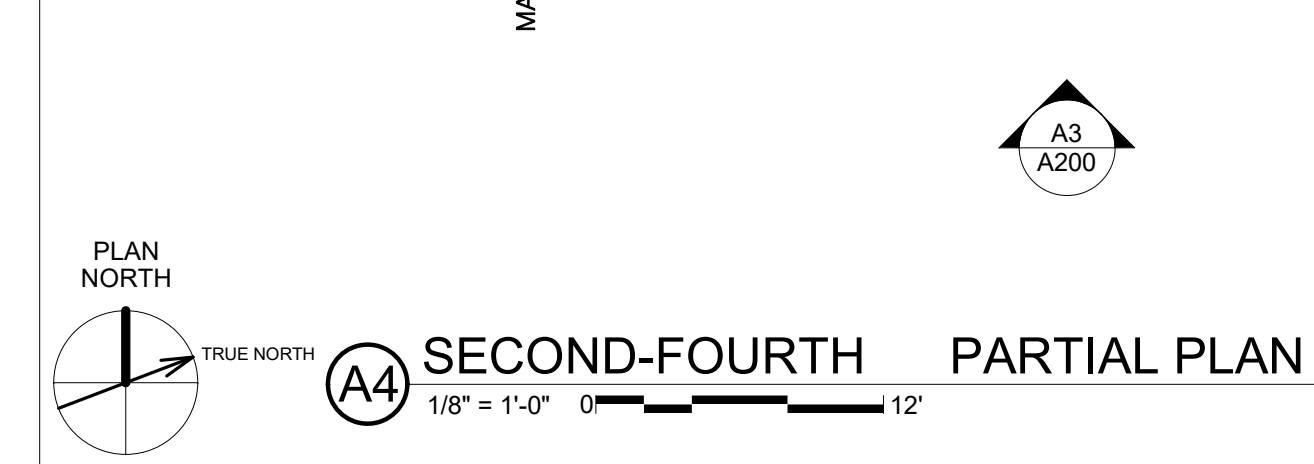
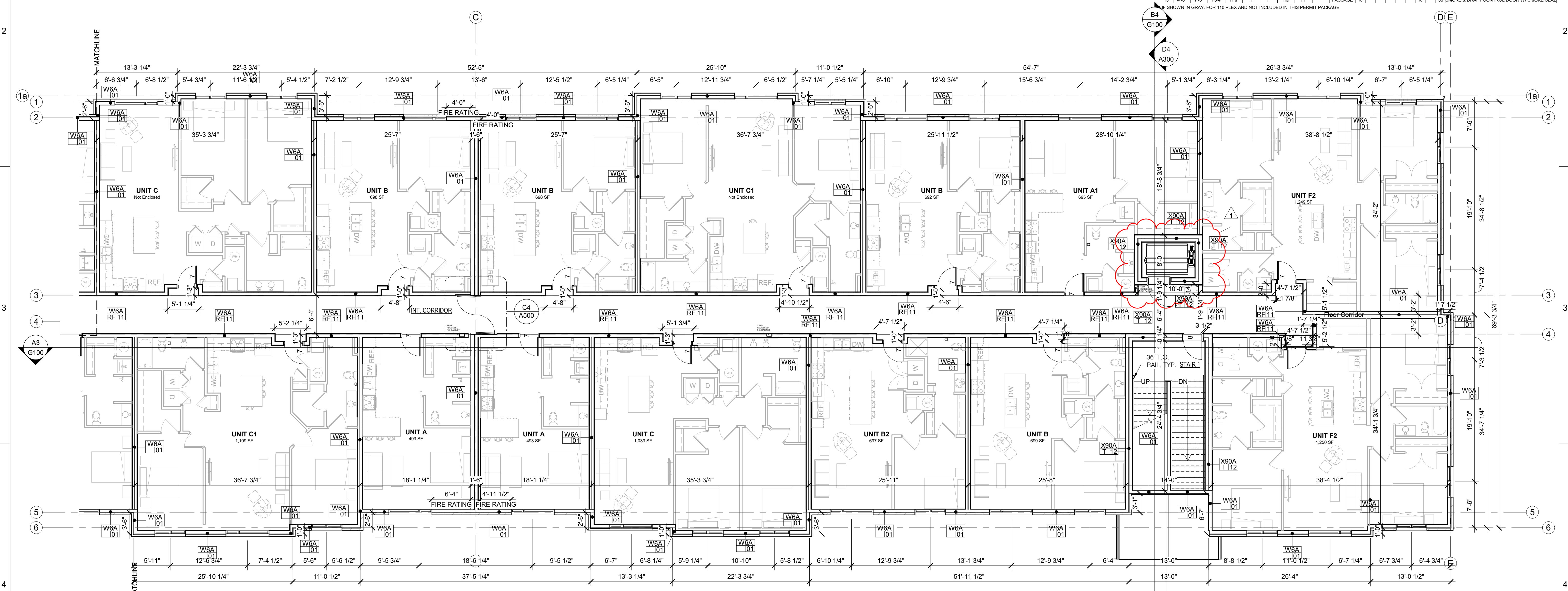
AL	ALUMINUM
AN	ANODIZED - COLOR SELECTED BY OWNER
CL	CLAD (ALUMINUM - PREFINISHED)
FG	FULL GLASS - MEDIUM STYLE
FL	FLUSH
HM	HOLLOW METAL
PF	PREFINISHED
PT	PAINTED
ST	STAINED
STL	STEEL

OVERALL MAIN FLOOR ROOM FINISH SCHEDULE

ROOM DESIGNATION	FLOOR	WALLS				CEILING	REMARKS
		BASE	NORTH	SOUTH	EAST		
GARAGE	CONCRETE	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
ELEVATOR	CONCRETE	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
INT. CORRIDOR	CARPET	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
STAIR	CARPET	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX

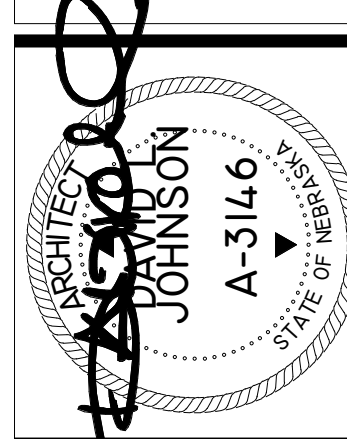
MAIN FLOOR DOOR & FRAME SCHEDULE

MARK	DOOR		FRAME		HARDWARE										REMARKS		
	WIDTH	HEIGHT	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP	WALL STOP	THRESHOLD	CARD READER		FIRE RTC (MIN)	
1	9'-0"	7'-0"	1"	STL	PF	CHSF	STL	PT									INSULATION STL DR. 2 REMOTES PER DR
2	3'-0"	7'-0"	1 3/4"	HM	PT	FG	AL	PT	3	ENTRANCE	X	X	X	X	X	X	
3	3'-0"	7'-0"	1 3/4"	HM	PT	FG	HM	PT	3	ENTRANCE	X	X	X	X	X	X	
4	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT									
5	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT									80 PAIR 2 - 10"
6	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT									80 PAIR 2 - 10"
7	3'-0"	7'-0"	1 3/4"	WD	PT	F	WD	PT	3	UNIT ENT.	X						25 UNIT ENTRY DOORS W/ VIEWER
8	3'-0"	7'-0"	1 3/4"	WD	PT	NOV	HM	PT									
9	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT									
10	3'-0"	7'-0"	1 3/4"	GLAZ	HM	SP	HM	PT									FITNESS ROOM AMENITIES
11	3'-0"	7'-0"	1 3/4"	GLAZ	HM	F	SRS	PT									SEAM REG. ENTR. ENCL. SHAR. DOOR
12	6'-0"	7'-0"	1 3/4"	STL	PF	F	SRS	PT									80 PAIR 2 - 0" TRASH ENCL. DOORS
13	6'-0"	7'-0"	1 3/4"	HM	PF	FGFG	SRS	PF									2-10" ENTRANCE CLEAR WIDTH
14	3'-6"	7'-0"	1 3/4"	HM	PF	F	HM	PF									30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL
15	4'-0"	7'-0"	1 3/4"	HM	PF	F	HM	PF									30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL



SECOND-FOURTH PARTIAL PLAN
1/8" = 1'-0"

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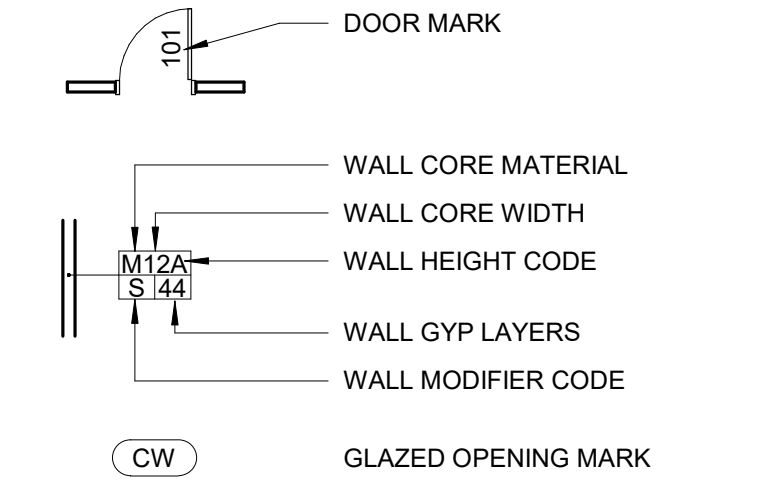


Quantum
Wolf Creek 2 Apartments
110 Plex
THIRD FLOOR PLAN

NO. ISSUED FOR: DATE:
1 Conveying Equipment 02/08/2022

JOB NO. > 5201700
A105

FLOOR PLAN SYMBOLS LEGEND



FLOOR PLAN NOTES

- COORDINATE THE LOCATION OF ALL WALL REINFORCEMENT AND BLOCKING PRIOR TO THE INSTALLATION OF THE DRYWALL AND MILLWORK. PROVIDE BLOCKING FOR TOILET ACCESSORIES, GRAB BARS, HANDRAILS, COAT HOOKS, SHELVING, FITTING ROOM PARTITIONS, WALL-MOUNTED EQUIPMENT, SURFACE-MOUNTED STANDARDS OR FIXTURES, MILLWORK, ETC., AS REQUIRED FOR ANCHORING IN DRYWALL PARTITIONS. COORDINATE WITH OWNER FOR LOCATIONS OF WALL HUNG DEVICES NOT INSTALLED BY CONTRACTOR THAT REQUIRE BLOCKING. WOOD BLOCKING TO BE FIRE RETARDANT WHERE REQUIRED BY CODE.
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- UNLESS OTHERWISE NOTED, ALL INTERIOR DOORS TO BE LOCATED AT THE CENTER OF CLOSET WALL
- ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING.
- PROVIDE DRAFT STOPS IN COMBUSTIBLE FLOOR TRUSSES AREA OVER 1,000 SF.

DOOR HARDWARE NOTES

- PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
- PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
- VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
- ALL GLASS IN DOORS TO BE TEMPERED
- PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS.
- INTERIOR DOOR LATCHES TO BE SCHLAGE "A SERIES" LEVERS OR EQUAL TO BE INSTALLED @ 41" AFF
- INTERIOR DOORS WITH PUSH OR PULL PLATES TO BE INSTALLED @ 48" AFF

ABBREVIATIONS

AL	ALUMINUM
AN	ANODIZED - COLOR SELECTED BY OWNER
CL	CLAD (ALUMINUM - PREFINISHED)
FG	FULL GLASS - MEDIUM STYLE
FL	FLUSH
HM	HOLLOW METAL
PF	PREFINISHED
PT	PAINTED
ST	STAINED
STL	STEEL

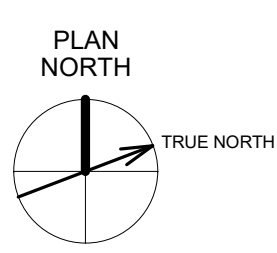
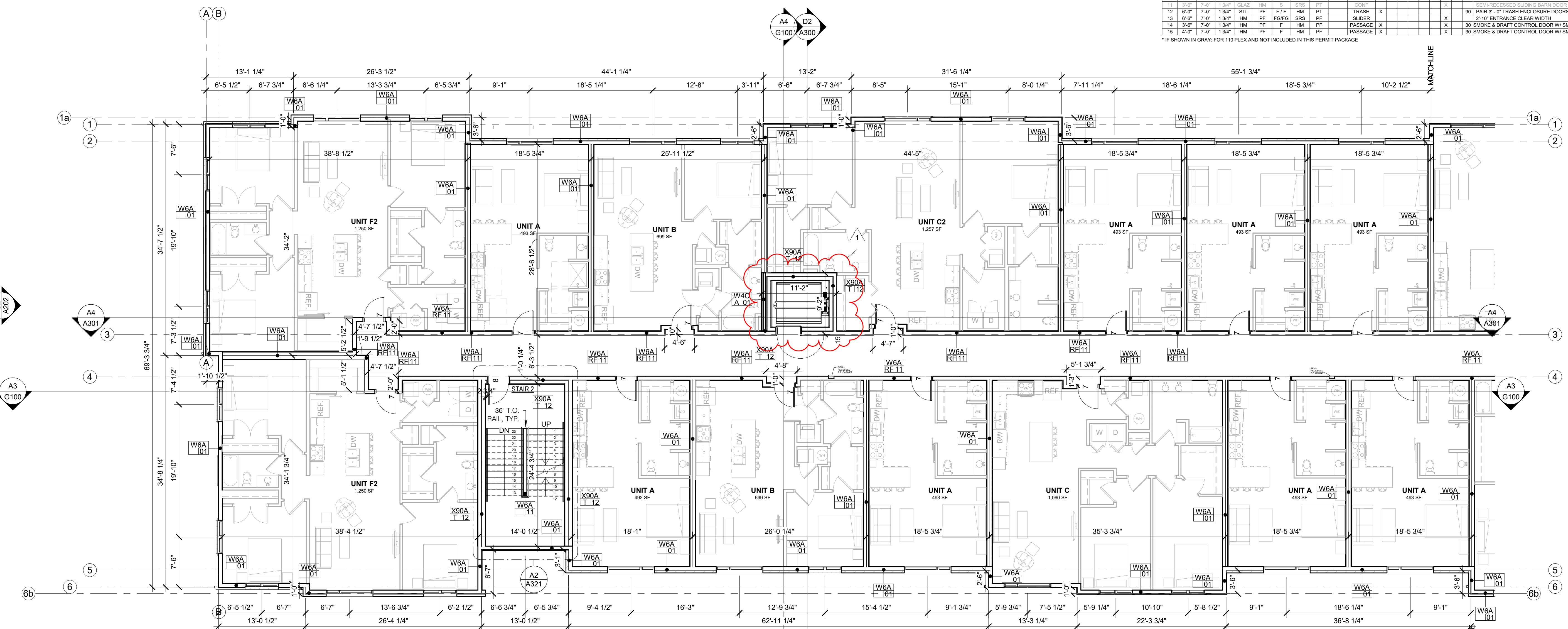
OVERALL MAIN FLOOR ROOM FINISH SCHEDULE

ROOM DESIGNATION	FLOOR	WALLS				CEILING	REMARKS
		BASE	NORTH	SOUTH	EAST		
GARAGE	CONCRETE	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
ELEVATOR	CONCRETE	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
INT. CORRIDOR	CARPET	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
STAIR	CARPET	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX

MAIN FLOOR DOOR & FRAME SCHEDULE

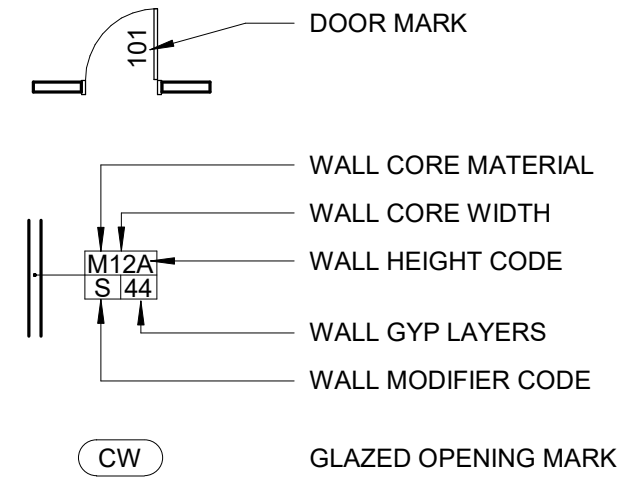
MARK	DOOR			FRAME		HARDWARE							REMARKS				
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP		WALL STOP	THRESHOLD	CARD READER	FIRE R.T.C. (MIN)
1	9'-0"	7'-0"	1"	STL	PF	CHSF	STL	PT									INSULATION STL. DR. 2 REMOTES PER DR
2	3'-0"	7'-0"	1-3/4"	HM	PT	FG	AL	PT									
3	3'-0"	7'-0"	1-3/4"	HM	PT	FG	AL	PT									
4	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									
5	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									80 PAIR 2 - 10"
6	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									80 PAIR 2 - 10"
7	3'-0"	7'-0"	1-3/4"	WD	PT	F	WD	PT									25 UNIT ENTRY DOORS W/ VIEWER
8	3'-0"	7'-0"	1-3/4"	WD	PT	NOV	HM	PT									
9	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									
10	3'-0"	7'-0"	1-3/4"	HM	PT	GLAZ	HM	PT									FITNESS ROOM AMENITIES
11	3'-0"	7'-0"	1-3/4"	HM	PT	GLAZ	HM	PT									80 PAIR 2 - 10" TRASH ENCLOSURE DOORS
12	6'-0"	7'-0"	1-3/4"	STL	PF	F	HM	PT									2-10" ENTRANCE CLEAR WIDTH
13	6'-0"	7'-0"	1-3/4"	HM	PT	FGFG	SRS	PF									30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL
14	3'-6"	7'-0"	1-3/4"	HM	PT	F	HM	PT									30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL
15	4'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL

* IF SHOWN IN GRAY: FOR 110 PLEX AND NOT INCLUDED IN THIS PERMIT PACKAGE



PLAN NORTH
TRUE NORTH
A4
1/8" = 1'-0" 0 12'

FLOOR PLAN SYMBOLS LEGEND



FLOOR PLAN NOTES

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DOOR HARDWARE NOTES

- PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
- PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
- VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
- ALL GLASS IN DOORS TO BE TEMPERED
- PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS.
- INTERIOR DOOR LATCHES TO BE SLAG "A SERIES" LEVERS OR EQUAL TO BE INSTALLED @ 41" AFF
- INTERIOR DOORS WITH PUSH OR PULL PLATES TO BE INSTALLED @ 48" AFF

ABBREVIATIONS

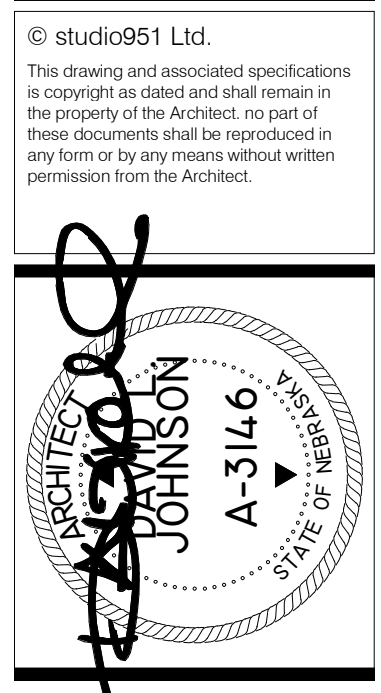
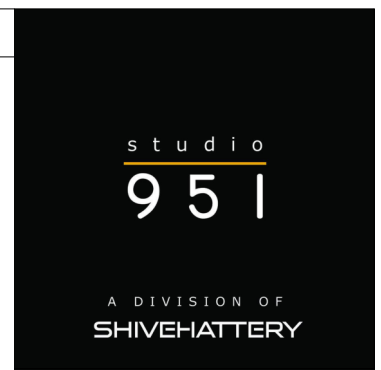
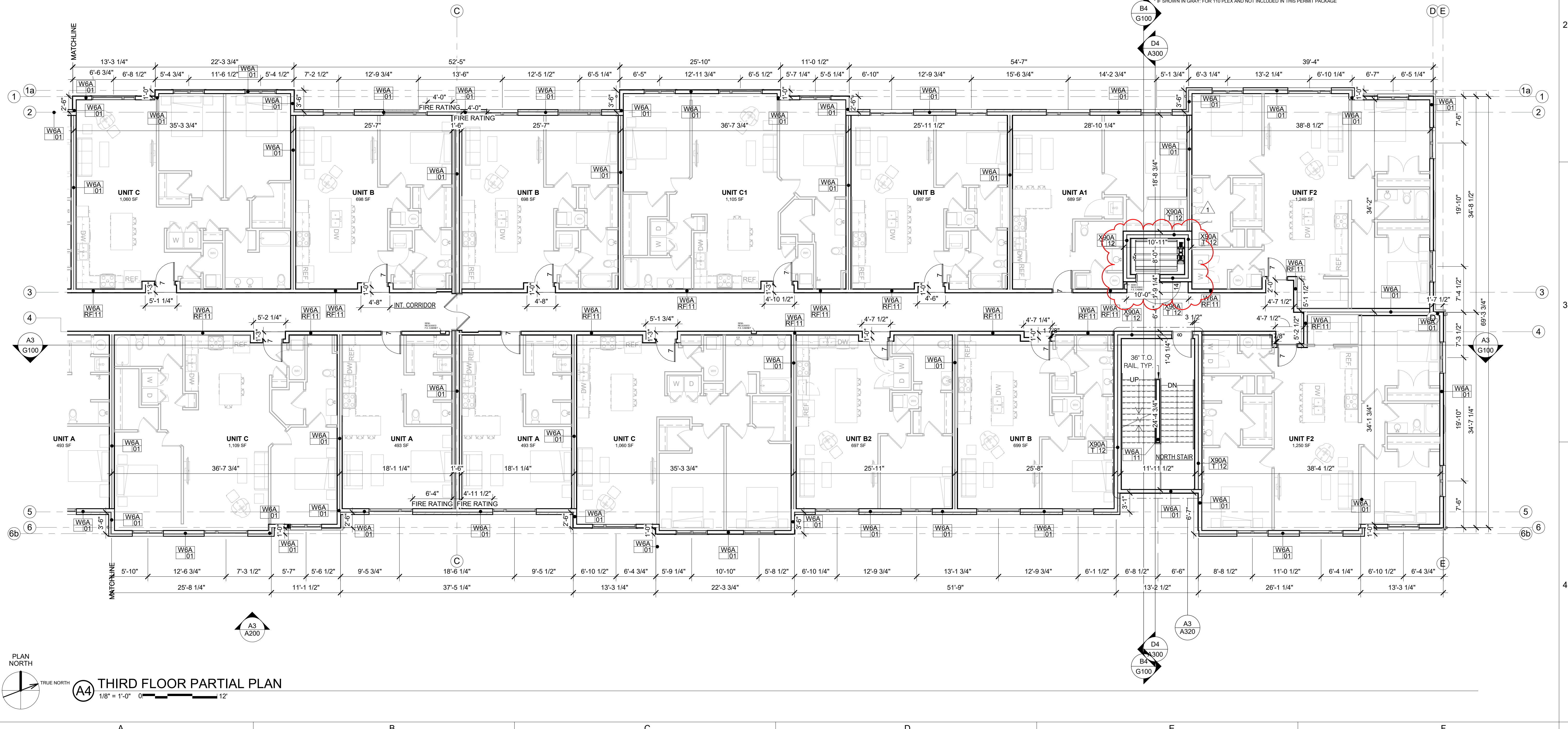
AL	ALUMINUM
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CL	CLAD (ALUMINUM - PREFINISHED)
FG	FULL GLASS - MEDIUM STYLE
FL	FLUSH
HM	HOLLOW METAL
PF	PREFINISHED
PT	PAINTED
ST	STAINED
STL	STEEL

OVERALL MAIN FLOOR ROOM FINISH SCHEDULE

ROOM DESIGNATION	FLOOR	BASE	WALLS				CEILING	REMARKS
			NORTH	SOUTH	EAST	WEST		
GARAGE	CONCRETE	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	
ELEVATOR	CONCRETE	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	
INT. CORRIDOR	CARPET	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	
STAIR	CARPET	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX	

MAIN FLOOR DOOR & FRAME SCHEDULE

MARK	DOOR			FRAME		HARDWARE								REMARKS			
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP	WALL STOP		THRESHOLD	CARD READER	FIRE ETC (MIN)
1	9'-0"	7'-0"	1"	STL	PF	OHSF	STL	PT									INSULATION STL DR. 2 REMOTES PER DR
2	3'-0"	7'-0"	1 3/4"	HM	PT	FG	AL	PT	3								
3	3'-0"	7'-0"	1 3/4"	HM	PT	FG	HM	PT	3								
4	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT									
5	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT									
6	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT									
7	3'-0"	7'-0"	1 3/4"	WD	PT	F	WD	PT	3								
8	3'-0"	7'-0"	1 3/4"	HM	PT	FG	HM	PT									
9	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT									
10	3'-0"	7'-0"	1 3/4"	HM	PT	FG	HM	PT									
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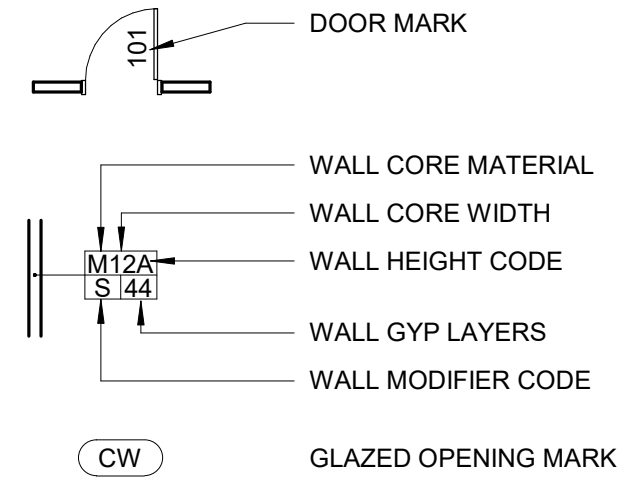
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Quantum
 Wolf Creek 2 Apartments
 110 Plex
 THIRD FLOOR PLAN

NO. >	ISSUED FOR >	DATE >
1	Conveying Equipment	02/08/2022

JOB NO. > 5201700
A106

FLOOR PLAN SYMBOLS LEGEND



FLOOR PLAN NOTES

- COORDINATE THE LOCATION OF ALL WALL REINFORCEMENT AND BLOCKING PRIOR TO THE INSTALLATION OF THE DRYWALL AND MILLWORK. PROVIDE BLOCKING FOR TOILET ACCESSORIES, GRAB BARS, HANDRAILS, COAT HOOKS, SHELVING, FITTING ROOM PARTITIONS, WALL-MOUNTED EQUIPMENT, SURFACE-MOUNTED STANDARDS OR FIXTURES, MILLWORK, ETC., AS REQUIRED FOR ANCHORING IN DRYWALL PARTITIONS. COORDINATE WITH OWNER FOR LOCATIONS OF WALL HUNG DEVICES NOT INSTALLED BY CONTRACTOR THAT REQUIRE BLOCKING. WOOD BLOCKING TO BE FIRE RETARDANT WHERE REQUIRED BY CODE.
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DOOR HARDWARE NOTES

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- PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
- VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
- ALL GLASS IN DOORS TO BE TEMPERED
- PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS.
- INTERIOR DOOR LATCHES TO BE SCHLAGE "A SERIES" LEVERS OR EQUAL TO BE INSTALLED @ 41" AFF
- INTERIOR DOORS WITH PUSH OR PULL PLATES TO BE INSTALLED @ 48" AFF

ABBREVIATIONS

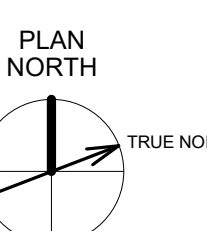
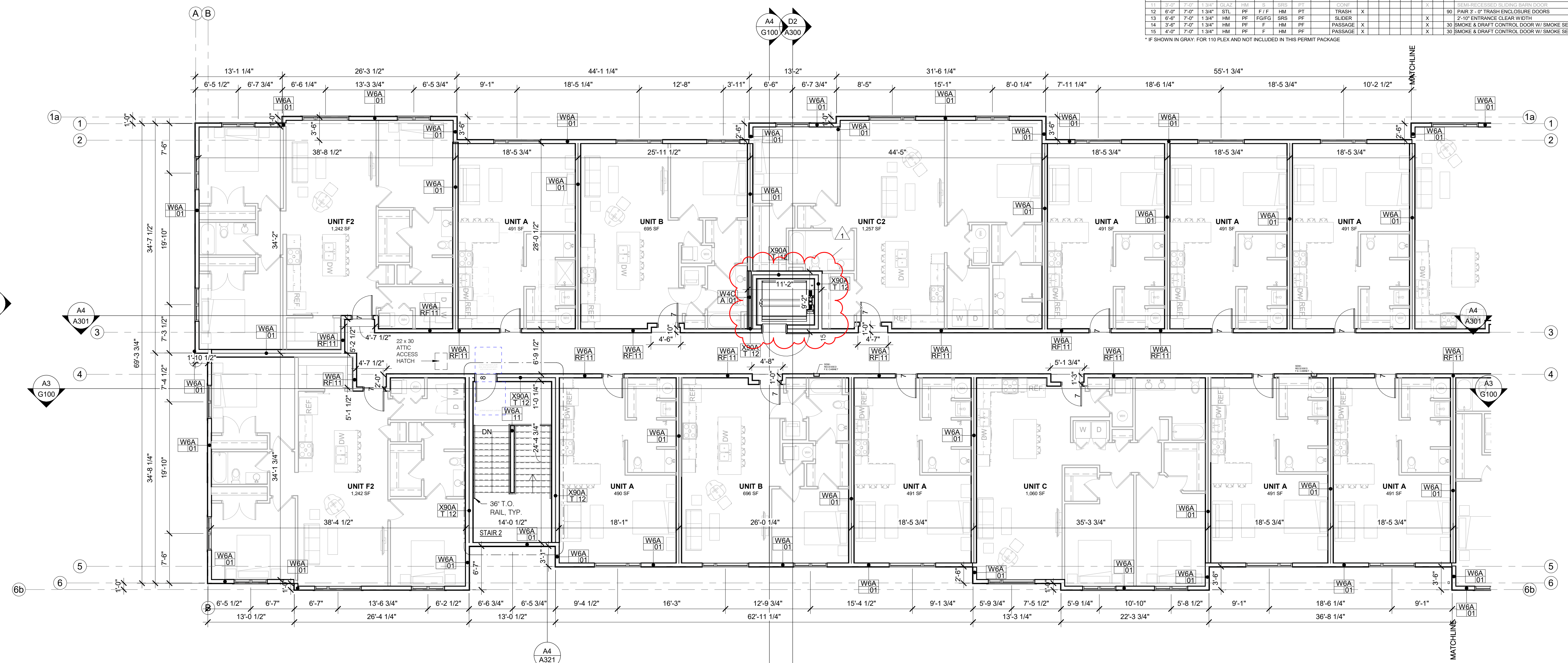
AL	ALUMINUM
AN	ANODIZED - COLOR SELECTED BY OWNER
CL	CLAD (ALUMINUM - PREFINISHED)
FG	FULL GLASS - MEDIUM STYLE
FL	FLUSH
HM	HOLLOW METAL
PF	PREFINISHED
PT	PAINTED
ST	STAINED
STL	STEEL

OVERALL MAIN FLOOR ROOM FINISH SCHEDULE

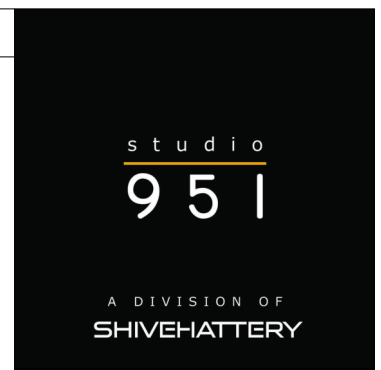
ROOM DESIGNATION	FLOOR	WALLS				CEILING	REMARKS
		BASE	NORTH	SOUTH	EAST		
GARAGE	CONCRETE	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
ELEVATOR	CONCRETE	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
INT. CORRIDOR	CARPET	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
STAIR	CARPET	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX

MAIN FLOOR DOOR & FRAME SCHEDULE

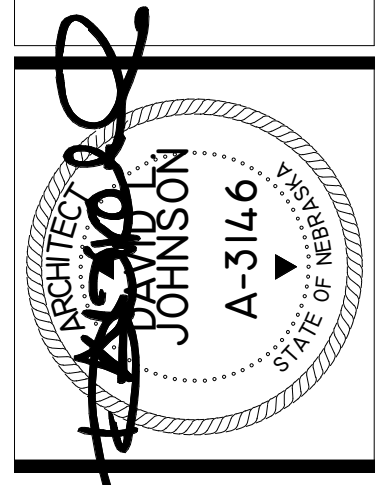
MARK	DOOR			FRAME		HARDWARE							REMARKS				
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP		WALL STOP THRESHOLD	CARD READER	FIRE RTC (MIN)	
1	9'-0"	7'-0"	1"	STL	PF	OHSF	STL	PT									INSULATION STL DR. 2 REMOTES PER DR
2	3'-0"	7'-0"	1-3/4"	HM	PT	FG	AL	PT									
3	3'-0"	7'-0"	1-3/4"	HM	PT	FG	AL	PT									
4	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									
5	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									
6	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									
7	3'-0"	7'-0"	1-3/4"	WD	PT	F	WD	PT									
8	3'-0"	7'-0"	1-3/4"	WD	PT	NO	WD	PT									
9	3'-0"	7'-0"	1-3/4"	HM	PT	F	HM	PT									
10	3'-0"	7'-0"	1-3/4"	HM	PT	FG	AL	PT									
11	3'-0"	7'-0"	1-3/4"	GLAZ	HM	PF	SRS	PT									
12	6'-0"	7'-0"	1-3/4"	STL	PF	F	SRS	PT									
13	6'-0"	7'-0"	1-3/4"	HM	PF	FGFG	SRS	PT									
14	3'-6"	7'-0"	1-3/4"	HM	PF	F	HM	PT									
15	4'-0"	7'-0"	1-3/4"	HM	PF	F	HM	PT									



PLAN NORTH TRUE NORTH
A4 FOURTH FLOOR
 1/8" = 1'-0" 0" 12"



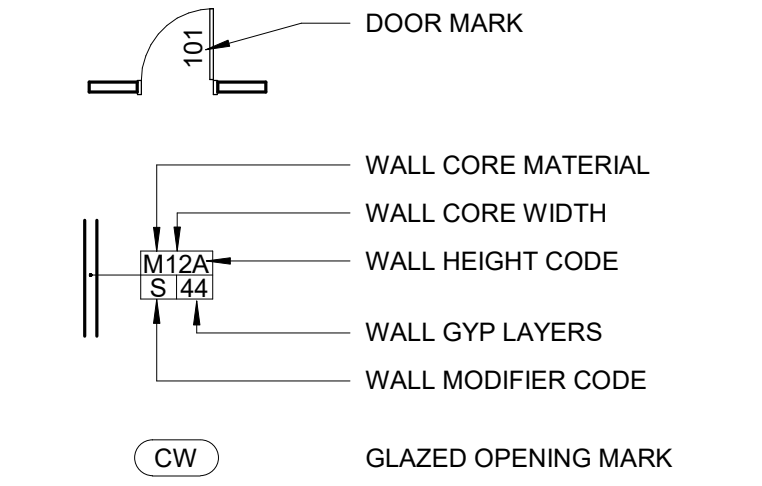
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Quantum
 Wolf Creek 2 Apartments
 110 Plex
 FOURTH FLOOR PLAN

NO. > ISSUED FOR >	DATE >
1 Conveying Equipment	02/08/2022

FLOOR PLAN SYMBOLS LEGEND



FLOOR PLAN NOTES

- COORDINATE THE LOCATION OF ALL WALL REINFORCEMENT AND BLOCKING PRIOR TO THE INSTALLATION OF THE DRYWALL AND MILLWORK. PROVIDE BLOCKING FOR TOILET ACCESSORIES, GRAB BARS, HANDRAILS, COAT HOOKS, SHELVING, FITTING ROOM PARTITIONS, WALL-MOUNTED EQUIPMENT, SURFACE-MOUNTED STANDARDS OR FIXTURES, MILLWORK, ETC., AS REQUIRED FOR ANCHORING IN DRYWALL PARTITIONS. COORDINATE WITH OWNER FOR LOCATIONS OF WALL HUNG DEVICES NOT INSTALLED BY CONTRACTOR THAT REQUIRE BLOCKING. WOOD BLOCKING TO BE FIRE RETARDANT WHERE REQUIRED BY CODE.
- WATER-RESISTANT GYPSUM BOARD SHALL BE USED FOR STUD PARTITIONS IN TOILET ROOMS, JANITOR'S CLOSETS, FIRE SERVICE ROOMS, MECHANICAL ROOMS, AND ANY ADDITIONAL LOCATIONS DESIGNATED IN CONTRACT DOCUMENTS.
- WHERE STRUCTURAL ELEMENTS INTERFERE WITH FIRE-RATED PARTITIONS, FRAME TOP OF WALL AROUND STRUCTURAL ELEMENT.
- REFER TO DRAWINGS OF ALL TRADES FOR ADDITIONAL INFORMATION REGARDING ITEMS PENETRATING FLOORS, WALLS, AND CEILINGS.
- ALL NEW PARTITIONS ARE DIMENSIONED TO FACE OF STUD, MASONRY, OR CONCRETE COMPONENT UNLESS NOTED OTHERWISE. DIMENSIONS TO EXISTING ELEMENTS ARE TO EXPOSED FACE.
- ALL DOORS IN STUD WALL CONSTRUCTION ARE TO BE LOCATED WITH EDGE OF FRAME 4" FROM FACE OF ADJACENT PARTITION UNLESS NOTED OTHERWISE. DIMENSIONS LOCATING DOORS NOT DIRECTLY ADJACENT TO WALLS ARE GIVEN TO OUTSIDE EDGE OF FRAME.
- ALL ANGLED PARTITIONS SHOWN SHALL BE AT A 45° ANGLE UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE NOTED, ALL INTERIOR DOORS TO BE LOCATED AT THE CENTER OF CLOSET WALL
- ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING.
- PROVIDE DRAFT STOPS IN COMBUSTIBLE FLOOR TRUSSES AREA OVER 1,000 SF.

DOOR HARDWARE NOTES

- PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
- PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
- VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
- ALL GLASS IN DOORS TO BE TEMPERED
- PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS
- INTERIOR DOOR LATCHES TO BE SCHLAGE 'A SERIES' LEVERS OR EQUAL TO BE INSTALLED @ 41" AFF
- INTERIOR DOORS WITH PUSH OR PULL PLATES TO BE INSTALLED @ 48" AFF

ABBREVIATIONS

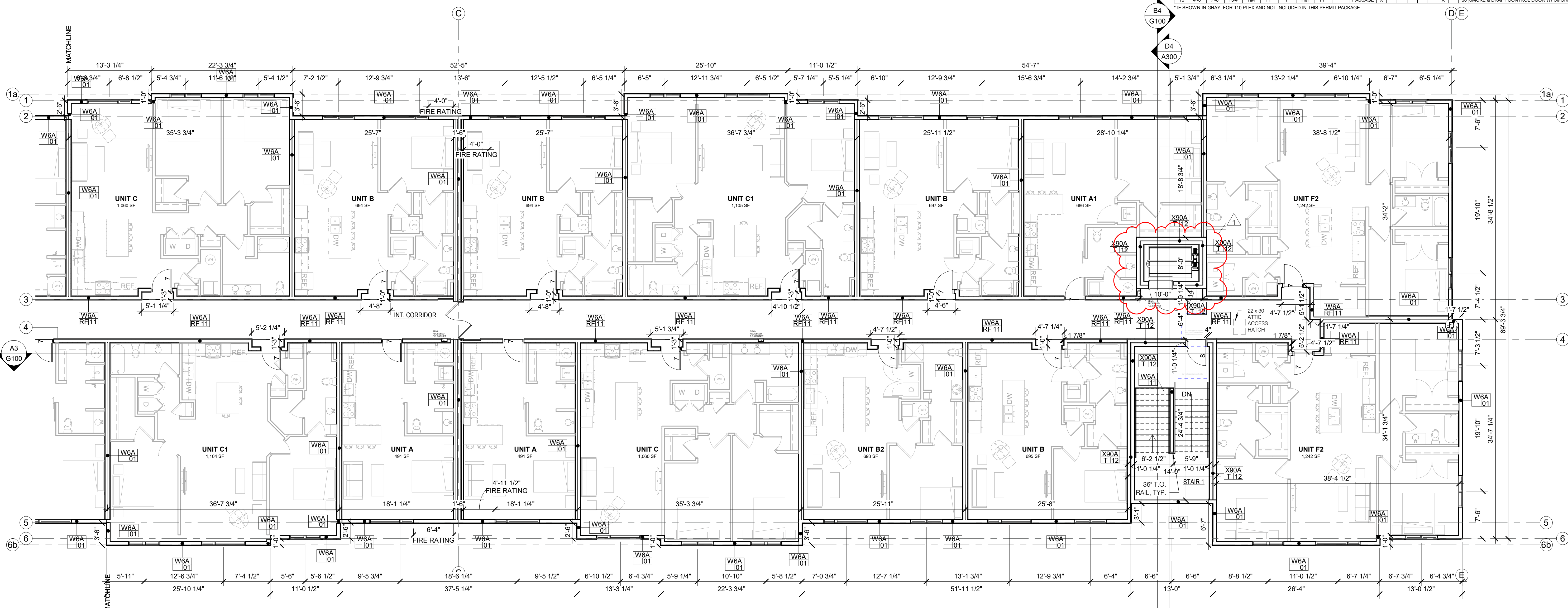
AL	ALUMINUM
AN	ANODIZED - COLOR SELECTED BY OWNER
CL	CLAD (ALUMINUM - PREFINISHED)
FG	FULL GLASS - MEDIUM STYLE
FL	FLUSH
HM	HOLLOW METAL
PF	PREFINISHED
PT	PAINTED
ST	STAINED
STL	STEEL

OVERALL MAIN FLOOR ROOM FINISH SCHEDULE

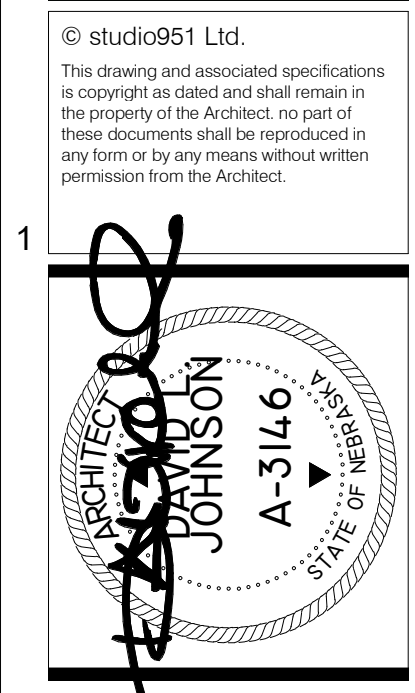
ROOM DESIGNATION	FLOOR	WALLS				CEILING	REMARKS
		BASE	NORTH	SOUTH	EAST		
GARAGE	CONCRETE	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
ELEVATOR	CONCRETE	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
INT. CORRIDOR	CARPET	NA	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX
STAIR	CARPET	WD	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-TX

MAIN FLOOR DOOR & FRAME SCHEDULE

MARK	DOOR		FRAME		HARDWARE							REMARKS				
	WIDTH	HEIGHT	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP		WALL STOP	THRESHOLD	CARD READER	FIRE R/T C (MIN)
1	9'-0"	7'-0"	1"	STL	PF	CHSF	STL	PT								INSULATION STL DR. 2 REMOTES PER DR
2	3'-0"	7'-0"	1 3/4"	HM	PT	FG	AL	PT	3	ENTRANCE	X	X	X	X	X	
3	3'-0"	7'-0"	1 3/4"	HM	PT	FG	HM	PT	3	ENTRANCE	X	X	X	X	X	
4	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT		MECH.	X					
5	3'-0"	7'-0"	1 3/4"	HM	PT	F	F	HM	PT							80 PAIR 2" - 10"
6	3'-0"	7'-0"	1 3/4"	HM	PT	F	F	HM	PT							80 PAIR 2" - 10"
7	3'-0"	7'-0"	1 3/4"	WD	PT	F	WD	PT	3	UNIT ENT.	X					25 UNIT ENTRY DOORS W/ VIEWER
8	3'-0"	7'-0"	1 3/4"	WD	PT	HW	WD	PT		GARAGE	X					80
9	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT		GARAGE	X					80
10	3'-0"	7'-0"	1 3/4"	HM	PT	FG	HM	PT		FITNESS	X					FITNESS ROOM AMENITIES
11	3'-0"	7'-0"	1 3/4"	HM	PT	FG	HM	PT		FITNESS	X					FITNESS ROOM AMENITIES
12	6'-0"	7'-0"	1 3/4"	STL	PF	1 3/4"	HM	PT		TRASH	X					80 PAIR 2" - 4" TRASH ENCLOSURE DOORS
13	6'-0"	7'-0"	1 3/4"	HM	PT	FG	SRS	PF		SLIDER						2" - 10" ENTRANCE CLEAR WIDTH
14	3'-6"	7'-0"	1 3/4"	HM	PT	F	HM	PT		PASSAGE	X					30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL
15	4'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT		PASSAGE	X					30 SMOKE & DRAFT CONTROL DOOR W/ SMOKE SEAL



PLAN NORTH
 TRUE NORTH
A4 FOURTH FLOOR PARTIAL PLAN
 1/8" = 1'-0" 0 12'



Quantum
 Wolf Creek 2 Apartments
 110 Plex
 FOURTH FLOOR PLAN

NO. >	ISSUED FOR >	DATE >
1	Conveying Equipment	02/08/2022

BM 366 (5/20/17) Wolf Creek 2 20210705-110Plex-A-Cont.rvt
 Printed: 2/8/2022 11:11:49 AM
 Autodesk Revit 2019

ROOF PLAN NOTES

- FLASH ALL SCUPPERS, CURBS, VENTS AND STACKS AS SHOWN IN PLAN. REFER TO MANUFACTURER'S STANDARD DETAILS AND RECOMMENDATIONS FOR ANY MISCELLANEOUS DETAILS NOT SHOWN IN THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ROOF SYSTEM ON THE BUILDING. ANY DAMAGE TO THE ROOF SYSTEM WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
- ICE & WATER SHIELD @ ALL EAVES, (TYP.) 36" FROM FACE OF SHEATHING.
- ICE & WATER SHIELD @ ALL VALLEYS, (TYP.) 18" EITHER SIDE OF VALLEY.
- PROVIDE TIE DOWNS @ 20' O.C. - ONE SIDE OF RIDGE.
- TYPE V-A BUILDING DENSGLASS ON EXTERIOR WALLS.
- SEE A3.01 FOR LOCATIONS OF EXTERIOR MATERIALS.
- PROVIDE EXPANSION JOINTS IN CORRIDOR DEILINGS NOT TO EXCEED 30'-0".

A
 ROOF VENTING: 2690 SF = 1292 SQ IN NET FREE AREA REQUIRED
 UPPER VENTING = 646 SQ INCHES NET FREE
 35' - 11" RIDGE VENT OR
 (13) 5" SQUARE VENT
 (4) 144 SQ INCH ROUND VENT
 LOWER VENTING = 646 SQ INCHES NET FREE
 29' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
 1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

P
 ROOF VENTING: 328 SF = 158 SQ IN NET FREE AREA REQUIRED
 UPPER VENTING = 79 SQ INCHES NET FREE
 4' - 5" RIDGE VENT OR
 (2) 5" SQUARE VENT
 (1) 144 SQ INCH ROUND VENT
 LOWER VENTING = 79 SQ INCHES NET FREE
 4' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
 1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

B
 ROOF VENTING: 1557 SF = 748 SQ IN NET FREE AREA REQUIRED
 UPPER VENTING = 374 SQ INCHES NET FREE
 20' - 9" RIDGE VENT OR
 (7) 5" SQUARE VENT
 (3) 144 SQ INCH ROUND VENT
 LOWER VENTING = 374 SQ INCHES NET FREE
 17' OF 9 SQ INCH NET FREE AREA CONT SOFFIT VENT OR
 1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

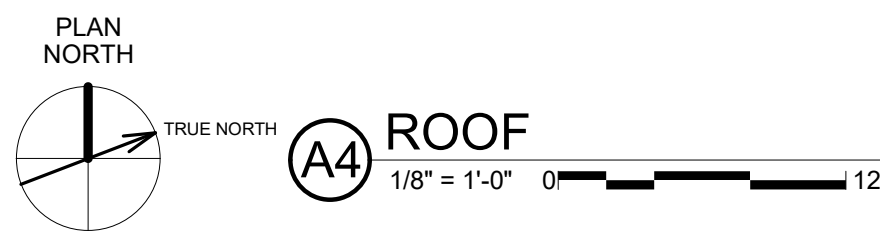
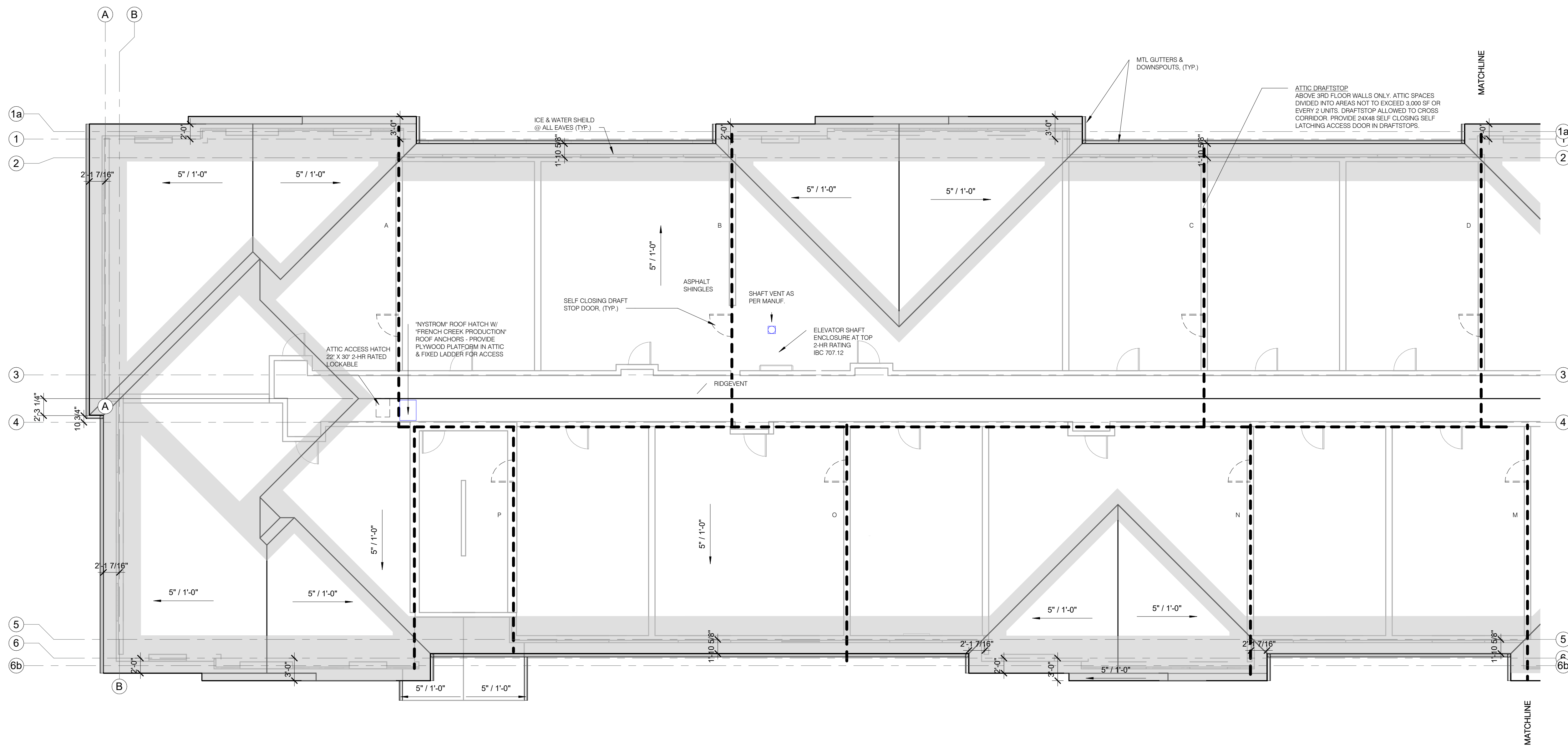
O
 ROOF VENTING: 1259 SF = 605 SQ IN NET FREE AREA REQUIRED
 UPPER VENTING = 303 SQ INCHES NET FREE
 16' - 10" RIDGE VENT OR
 (6) 5" SQUARE VENT
 (2) 144 SQ INCH ROUND VENT
 LOWER VENTING = 303 SQ INCHES NET FREE
 13' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
 1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

C
 ROOF VENTING: 2344 SF = 1126 SQ IN NET FREE AREA REQUIRED
 UPPER VENTING = 563 SQ INCHES NET FREE
 31' - 4" RIDGE VENT OR
 (11) 5" SQUARE VENT
 (4) 144 SQ INCH ROUND VENT
 LOWER VENTING = 563 SQ INCHES NET FREE
 25' OF 9 SQ INCH NET FREE AREA CONT SOFFIT VENT OR
 1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

N
 ROOF VENTING: 1628 SF = 782 SQ IN NET FREE AREA REQUIRED
 UPPER VENTING = 391 SQ INCHES NET FREE
 21' - 8" RIDGE VENT OR
 (8) 5" SQUARE VENT
 (3) 144 SQ INCH ROUND VENT
 LOWER VENTING = 391 SQ INCHES NET FREE
 17' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
 1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

D
 ROOF VENTING: 1295 SF = 622 SQ IN NET FREE AREA REQUIRED
 UPPER VENTING = 311 SQ INCHES NET FREE
 17' - 3" RIDGE VENT OR
 (6) 5" SQUARE VENT
 (2) 144 SQ INCH ROUND VENT
 LOWER VENTING = 311 SQ INCHES NET FREE
 14' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
 1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

M
 ROOF VENTING: 1053 SF = 506 SQ IN NET FREE AREA REQUIRED
 UPPER VENTING = 2253 SQ INCHES NET FREE
 14' - 0" RIDGE VENT OR
 (5) 5" SQUARE VENT
 (2) 144 SQ INCH ROUND VENT
 LOWER VENTING = 253 SQ INCHES NET FREE
 11' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
 1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS



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Quantum
Wolf Creek 2 Apartments
110 Plex
ROOF PLAN

NO.	ISSUED FOR	DATE

ROOF PLAN NOTES

- 1. FLASH ALL SCUPPERS, CURBS, VENTS AND STACKS AS SHOWN IN PLAN. REFER TO MANUFACTURER'S STANDARD DETAILS AND RECOMMENDATIONS FOR ANY MISCELLANEOUS DETAILS NOT SHOWN IN THE PLANS.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ROOF SYSTEM ON THE BUILDING. ANY DAMAGE TO THE ROOF SYSTEM WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR.
- 3. ICE & WATER SHIELD @ ALL EAVES, (TYP.) 36" FROM FACE OF SHEATHING.
- 4. ICE & WATER SHIELD @ ALL VALLEYS, (TYP.) 18" EITHER SIDE OF VALLEY.
- 5. PROVIDE TIE DOWNS @ 20' O.C. - ONE SIDE OF RIDGE.
- 6. TYPE V-A BUILDING DENSGLASS ON EXTERIOR WALLS.
- 7. SEE A3.01 FOR LOCATIONS OF EXTERIOR MATERIALS.
- 8. PROVIDE EXPANSION JOINTS IN CORRIDOR DEILINGS NOT TO EXCEED 30'-0".



E ROOF VENTING: 2269 SF = 1090 SQ IN NET FREE AREA REQUIRED
UPPER VENTING = 545 SQ INCHES NET FREE
30' - 3" RIDGE VENT OR
(11) 5" SQUARE VENT
(4) 144 SQ INCH ROUND VENT
LOWER VENTING = 545 SQ INCHES NET FREE
24' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

L ROOF VENTING: 1683 SF = 808 SQ IN NET FREE AREA REQUIRED
UPPER VENTING = 404 SQ INCHES NET FREE
22' - 5" RIDGE VENT OR
(8) 5" SQUARE VENT
(3) 144 SQ INCH ROUND VENT
LOWER VENTING = 404 SQ INCHES NET FREE
16' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

F ROOF VENTING: 2322 SF = 1115 SQ IN NET FREE AREA REQUIRED
UPPER VENTING = 558 SQ INCHES NET FREE
31' - 0" RIDGE VENT OR
(11) 5" SQUARE VENT
(4) 144 SQ INCH ROUND VENT
LOWER VENTING = 558 SQ INCHES NET FREE
25' OF 9 SQ INCH NET FREE AREA CONT SOFFIT VENT OR
1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

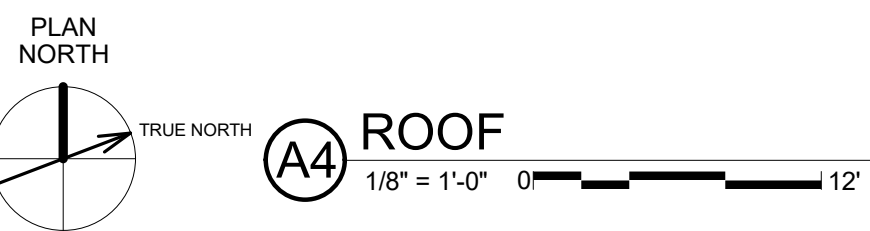
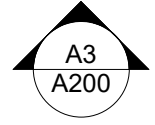
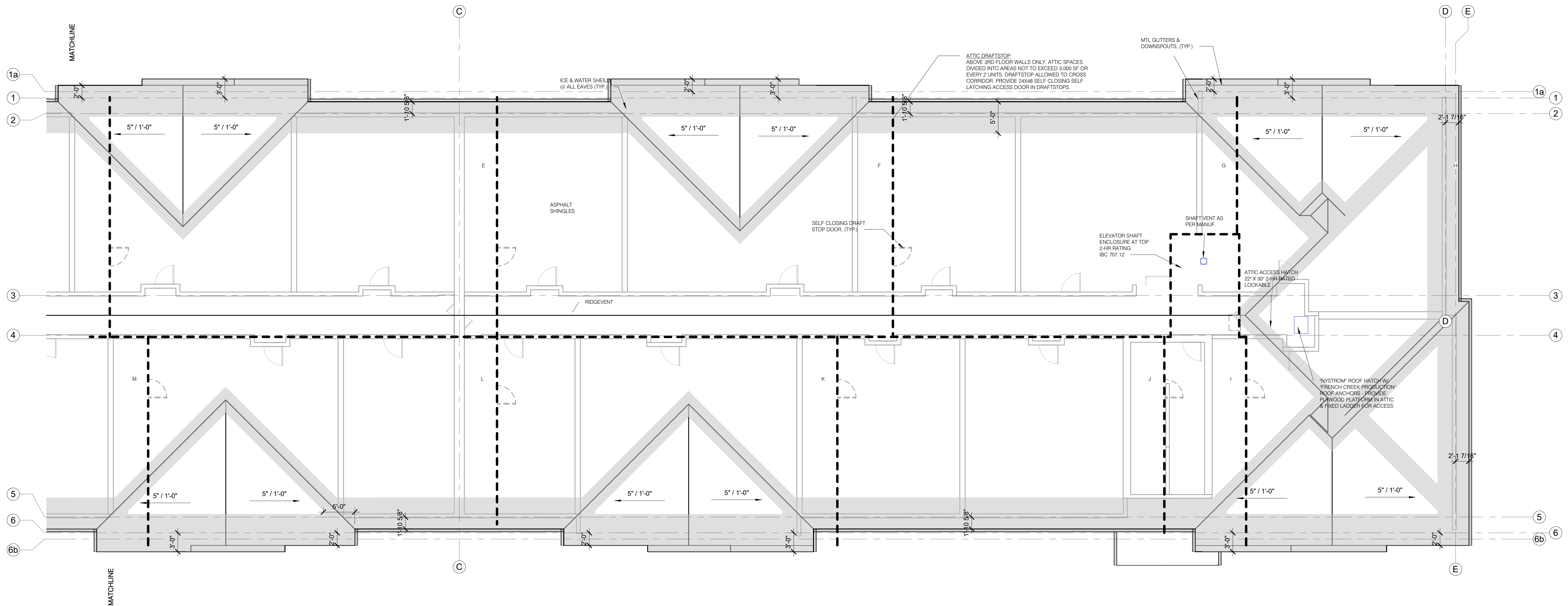
K ROOF VENTING: 1683 SF = 808 SQ IN NET FREE AREA REQUIRED
UPPER VENTING = 404 SQ INCHES NET FREE
22' - 5" RIDGE VENT OR
(8) 5" SQUARE VENT
(3) 144 SQ INCH ROUND VENT
LOWER VENTING = 404 SQ INCHES NET FREE
16' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

G ROOF VENTING: 1763 SF = 847 SQ IN NET FREE AREA REQUIRED
UPPER VENTING = 424 SQ INCHES NET FREE
23' - 6" RIDGE VENT OR
(8) 5" SQUARE VENT
(3) 144 SQ INCH ROUND VENT
LOWER VENTING = 424 SQ INCHES NET FREE
19' OF 9 SQ INCH NET FREE AREA CONT SOFFIT VENT OR
1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

J ROOF VENTING: 1471 SF = 7-7 SQ IN NET FREE AREA REQUIRED
UPPER VENTING = 354 SQ INCHES NET FREE
19' - 8" RIDGE VENT OR
(7) 5" SQUARE VENT
(2) 144 SQ INCH ROUND VENT
LOWER VENTING = 354 SQ INCHES NET FREE
16' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

H ROOF VENTING: 2704 SF = 1298 SQ IN NET FREE AREA REQUIRED
UPPER VENTING = 649 SQ INCHES NET FREE
36' - 0" RIDGE VENT OR
(13) 5" SQUARE VENT
(5) 144 SQ INCH ROUND VENT
LOWER VENTING = 649 SQ INCHES NET FREE
29' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS

I ROOF VENTING: 483 SF = 232 SQ IN NET FREE AREA REQUIRED
UPPER VENTING = 116 SQ INCHES NET FREE
6' - 5" RIDGE VENT OR
(2) 5" SQUARE VENT
(1) 144 SQ INCH ROUND VENT
LOWER VENTING = 116 SQ INCHES NET FREE
5' OF 9 SQ INCHES NET FREE AREA CONT SOFFIT VENT OR
1 SQ INCH/FT PERFORATED SOFFIT VENT PANELS



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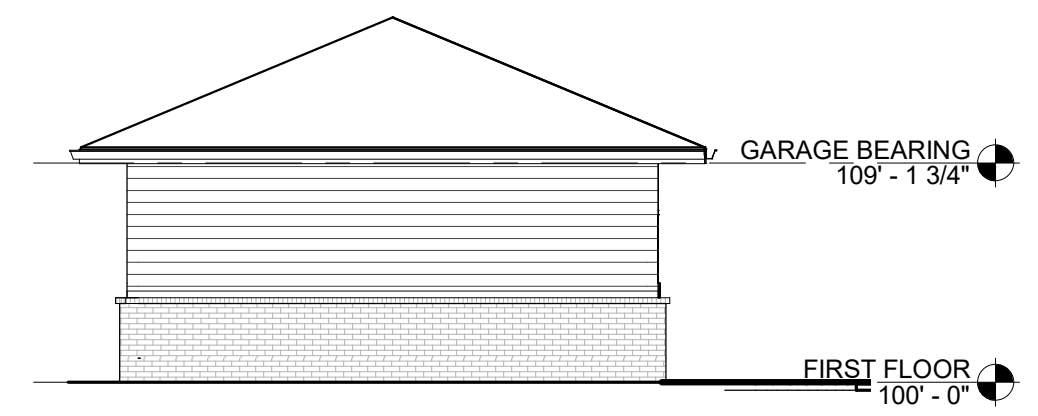
Quantum
Wolf Creek 2 Apartments
110 Plex
ROOF PLAN

NO. - ISSUED FOR -	DATE -

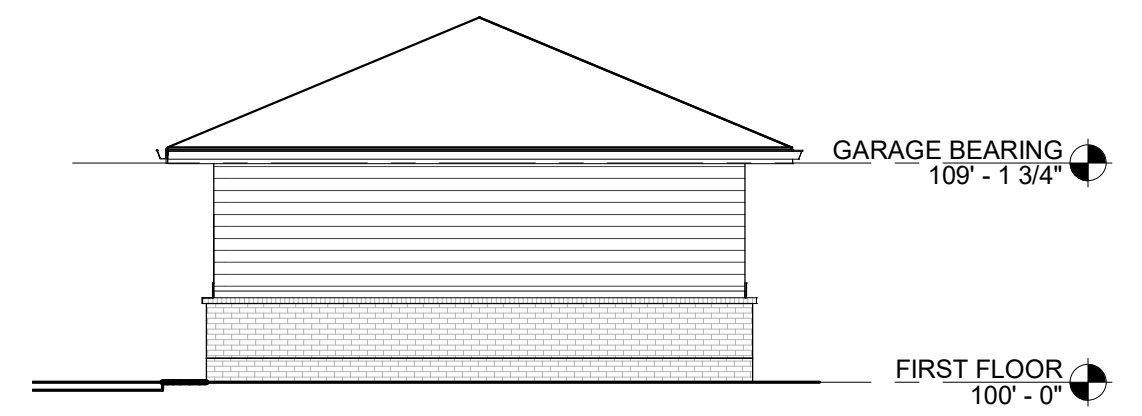
MAIN FLOOR DOOR & FRAME SCHEDULE

MARK	DOOR			FRAME		HARDWARE											REMARKS						
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP	WALL STOP		THRESHOLD	CARD READER	FIRE RTG (MIN)			
1	7'-0"	7'-0"	1"	STL	PT	OHSE	STL	PT	3												INSULATION STL DR: 2 REMOTES PER DR		
2	5'-0"	7'-0"	1 3/4"	HM	PT	FG	AL	PT	3													ENTRANCE	
3	3'-0"	7'-0"	1 3/4"	HM	PT	FG	HM	PT	3														ENTRANCE
4	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT															MESH
5	5'-0"	7'-0"	1 3/4"	HM	PT	F/F	HM	PT															90 PAIR 2" - 10"
6	5'-0"	7'-0"	1 3/4"	HM	PT	F/F	HM	PT															90 PAIR 2" - 10"
7	3'-0"	7'-0"	1 3/4"	WD	PT	F	WD	PT	3														25 UNIT ENTRY DOORS W/ VIEWER
8	3'-0"	7'-0"	1 3/4"	WD	PT	R/V	HM	PT															90 PAIR 2" - 10"
9	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT															90 PAIR 2" - 10"
10	3'-0"	7'-0"	1 3/4"	GLAZ	HM	SF	HM	PT															FITNESS ROOM AMENITIES
11	3'-0"	7'-0"	1 3/4"	GLAZ	HM	S	SSS	PT															SEMI-RECESSED SLIDING BARRN DOOR
12	6'-0"	7'-0"	1 3/4"	STL	PT	F/F	HM	PT															90 PAIR 3'-0" TRASH ENCLOSURE DOORS

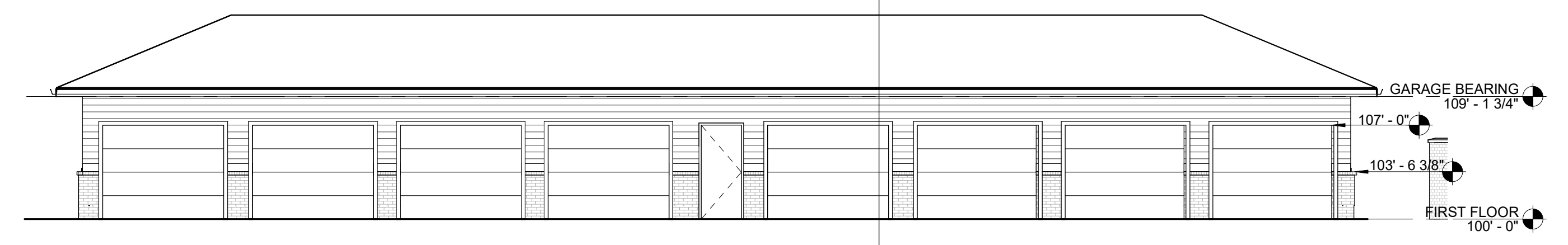
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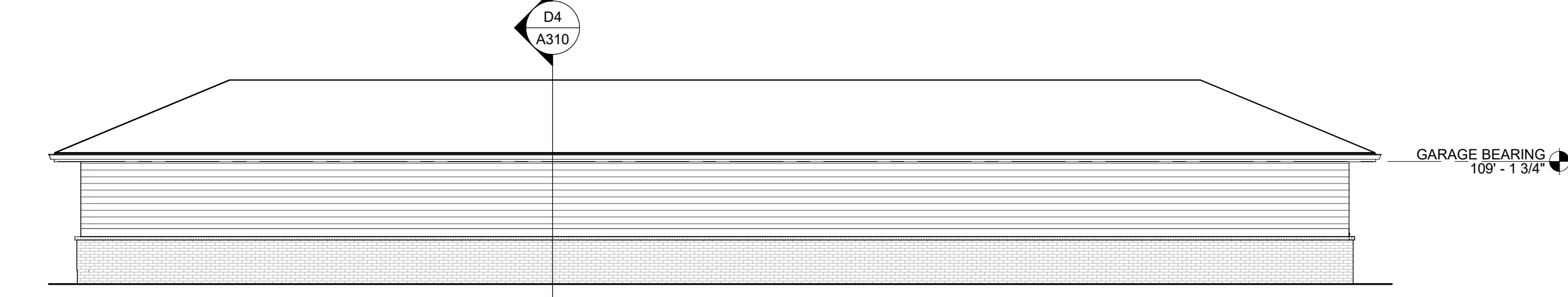
A2 South Garage - East Elevation
1/8" = 1'-0"



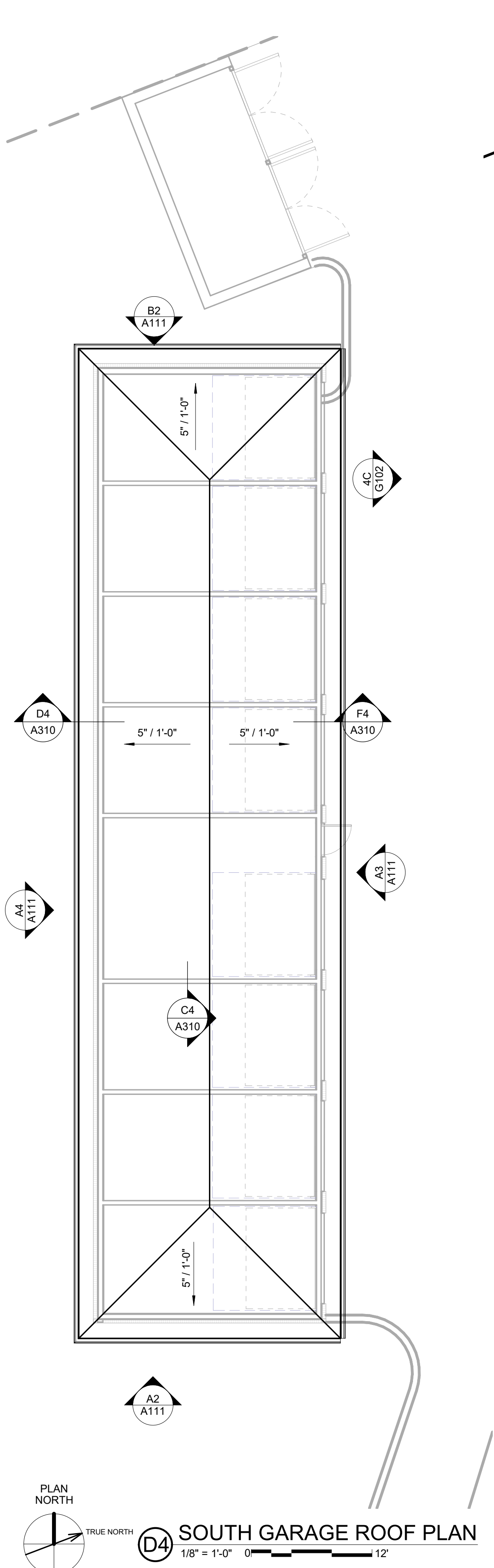
B2 South Garage - West Elevation
1/8" = 1'-0"



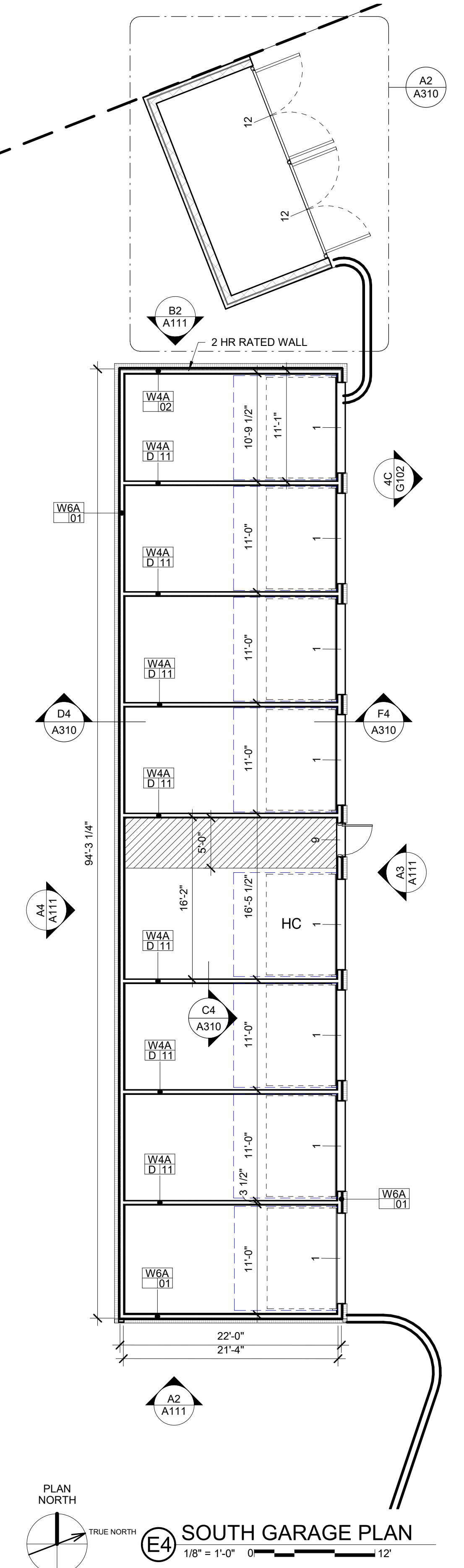
A3 South Garage - North Elev.
1/8" = 1'-0"



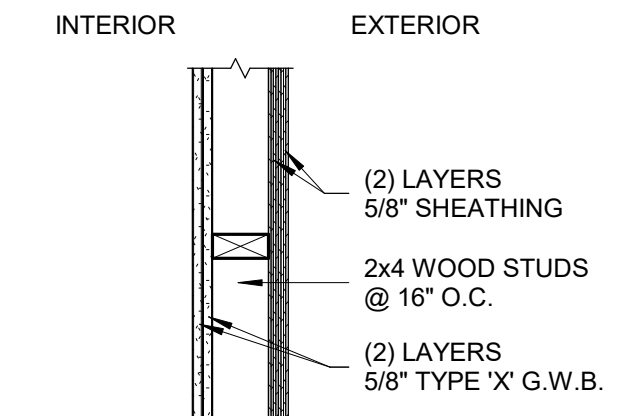
A4 South Garage - South Elevation
1/8" = 1'-0"



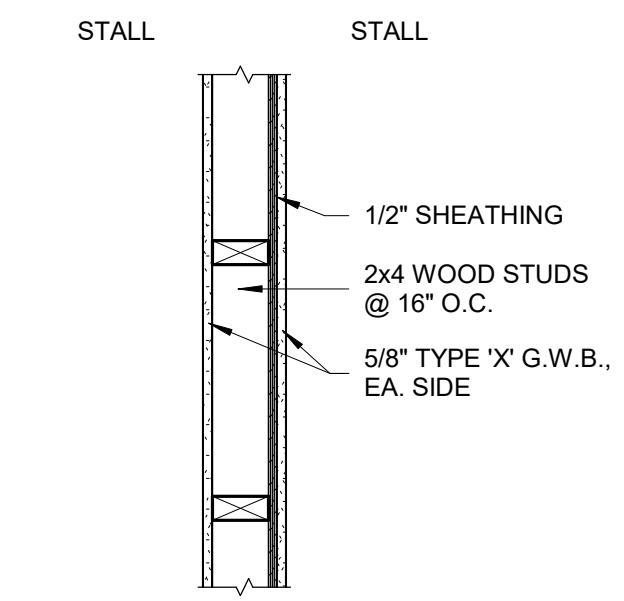
D4 SOUTH GARAGE ROOF PLAN
1/8" = 1'-0"



E4 SOUTH GARAGE PLAN
1/8" = 1'-0"



LOCATIONS: 2 HR RATED WALL AT SOUTH GARAGE
UL U342
2 HR @ SOUTH GARAGE W4A-02
1" = 1'-0"



LOCATIONS: GARAGE DEMISING WALLS, TYP.
DEMISING WALL AT SOUTH GARAGE - W4A-D11
1" = 1'-0"

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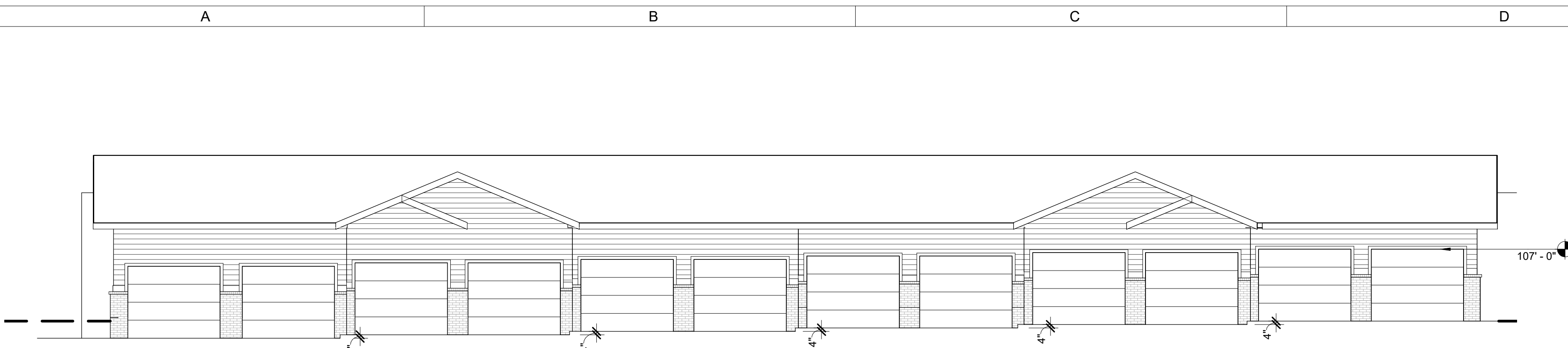
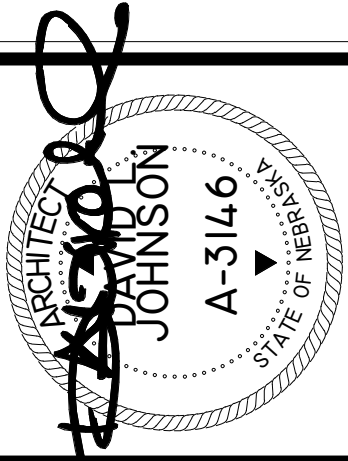
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ARCHITECT
DAVID JOHNSON
A-3146
STATE OF NEBRASKA

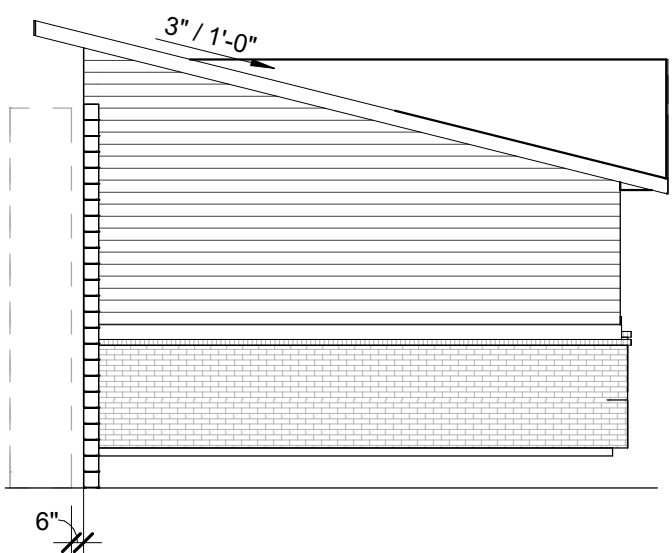
Quantum
Wolf Creek 2 Apartments
SOUTH GARAGE
SOUTH GARAGE

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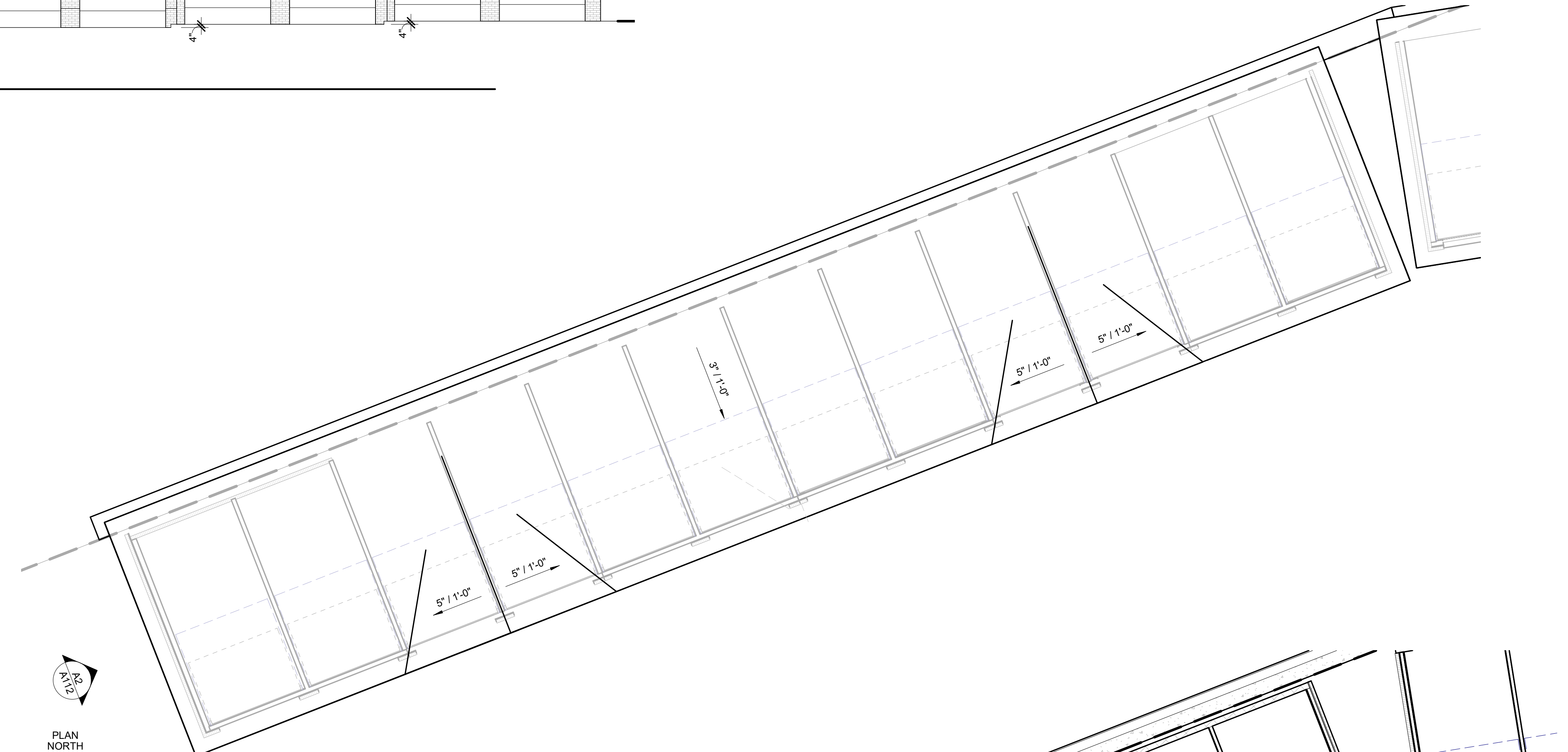
JOB NO. > 5201700
A111



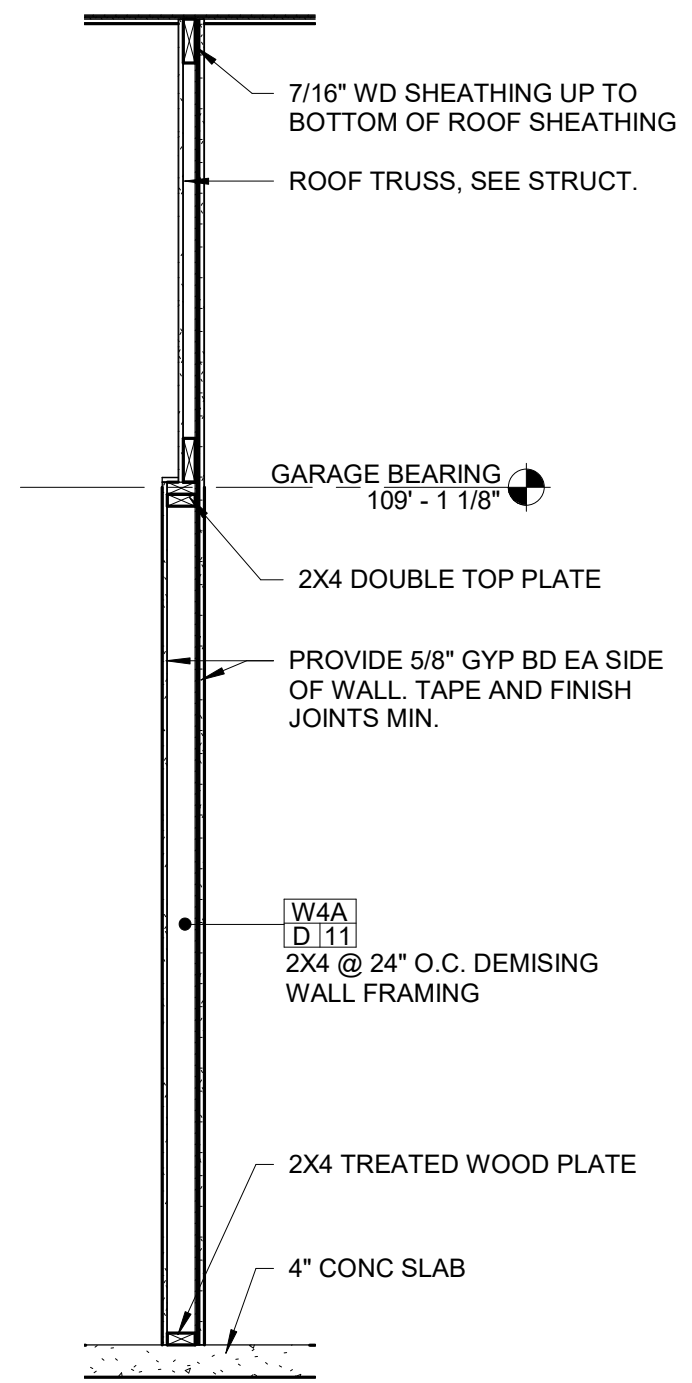
(A1) WEST GARAGE - EAST ELEVATION
1/8" = 1'-0"



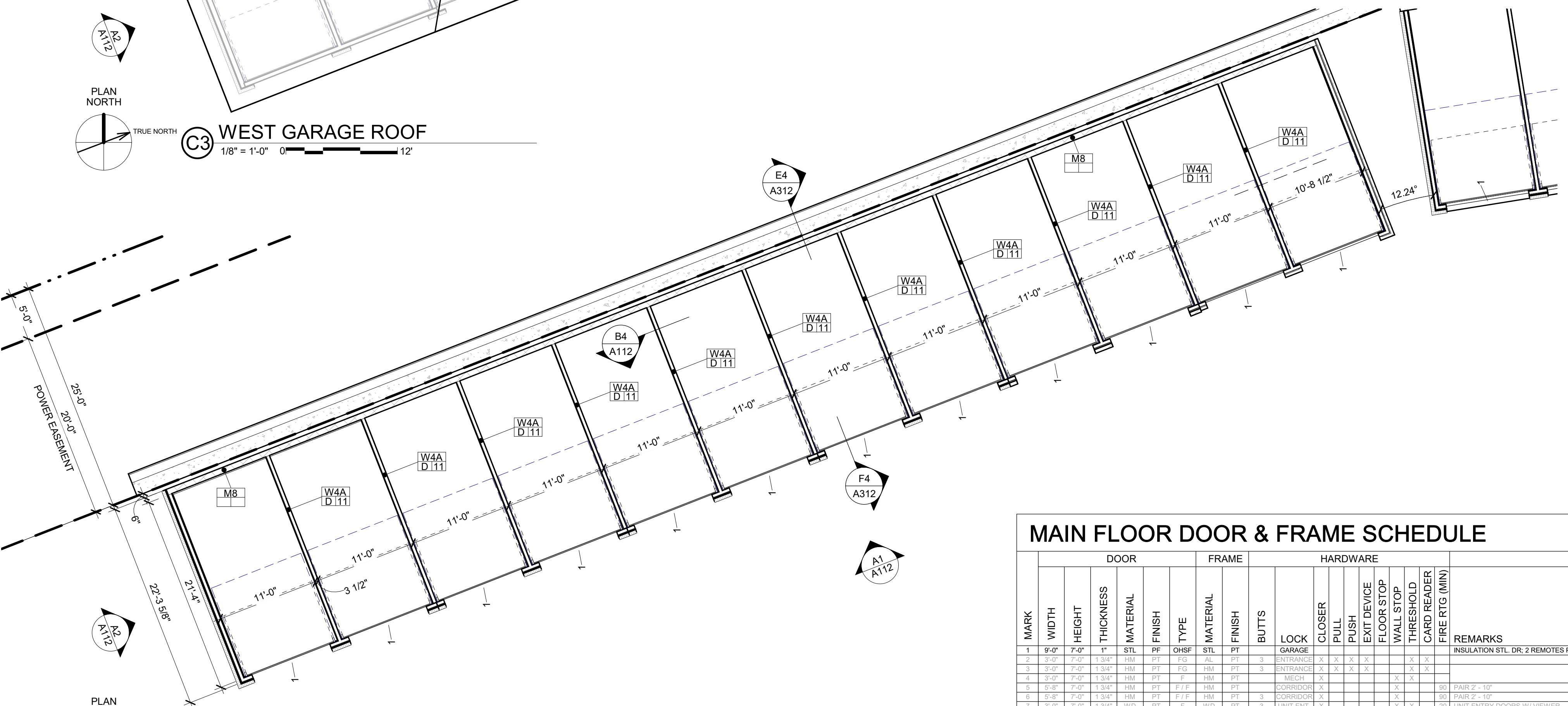
(A2) WEST GARAGE - SOUTH ELEVATION
NOT TO SCALE



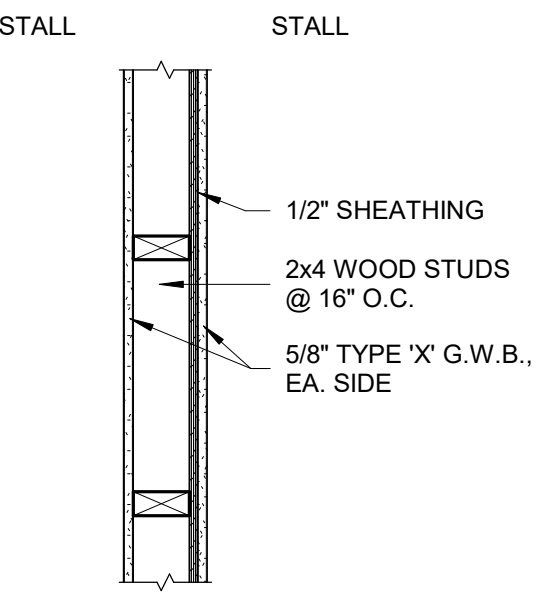
(C3) WEST GARAGE ROOF
1/8" = 1'-0" 0" 12"



(B4) TYP. SECTION @ DEMISING WALL
NOT TO SCALE



(C4) WEST GARAGE PLAN
1/8" = 1'-0" 0" 12"



(A4) DEMISING WALL W4A-D11
NOT TO SCALE

MAIN FLOOR DOOR & FRAME SCHEDULE

MARK	DOOR				FRAME		HARDWARE									REMARKS		
	WIDTH	HEIGHT	THICKNESS	MATERIAL	MATERIAL	FINISH	BUTTS	LOCK	CLOSER	PULL	PUSH	EXIT DEVICE	FLOOR STOP	WALL STOP	THRESHOLD		CARD READER	FIRE RTG (MIN)
1	8'-0"	7'-0"	1"	STL	PF	CHSP	STL	PT										INSULATION STL. DR. 2 REMOTES PER DR.
2	3'-0"	7'-0"	1 3/4"	HM	PT	F/F	HM	PT	3	ENTRANCE	X	X	X	X	X	X	X	
3	3'-0"	7'-0"	1 3/4"	HM	PT	F/G	HM	PT	3	ENTRANCE	X	X	X	X	X	X	X	
4	3'-0"	7'-0"	1 3/4"	HM	PT	F/F	HM	PT		MESH	X							50 PAIR 2 - 10"
5	3'-0"	7'-0"	1 3/4"	HM	PT	F/F	HM	PT		CORRIDOR	X							50 PAIR 2 - 10"
6	3'-0"	7'-0"	1 3/4"	HM	PT	F/F	HM	PT	3	CORRIDOR	X							50 PAIR 2 - 10"
7	3'-0"	7'-0"	1 3/4"	WD	PT	F	HM	PT	3	UNIT ENT.	X							50 UNIT ENTRY DOORS W/ VIEWER
8	3'-0"	7'-0"	1 3/4"	WD	PT	NV	HM	PT		STAIR	X							50
9	3'-0"	7'-0"	1 3/4"	HM	PT	F	HM	PT		GARAGE	X					X		
10	3'-0"	7'-0"	1 3/4"	GLZ	HM	SP	HM	PT		FITNESS	X							FITNESS ROOM AMENITIES
11	3'-0"	7'-0"	1 3/4"	GLZ	HM	S	SPS	PT		CLONE								SEMI-RECESSED SLIDING BARRI DOOR
12	6'-0"	7'-0"	1 3/4"	STL	PF	F/F	HM	PT		TRASH	X							50 PAIR 3 - 0\"/>

* IF SHOWN IN GRAY: FOR 110 PLEX AND NOT INCLUDED IN THIS PERMIT PACKAGE

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Wolf Creek 2 Apartments
WEST GARAGES
WEST GARAGE

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A

B

C

D

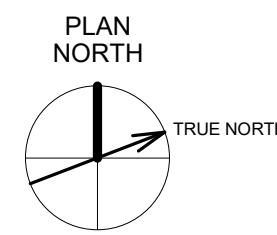
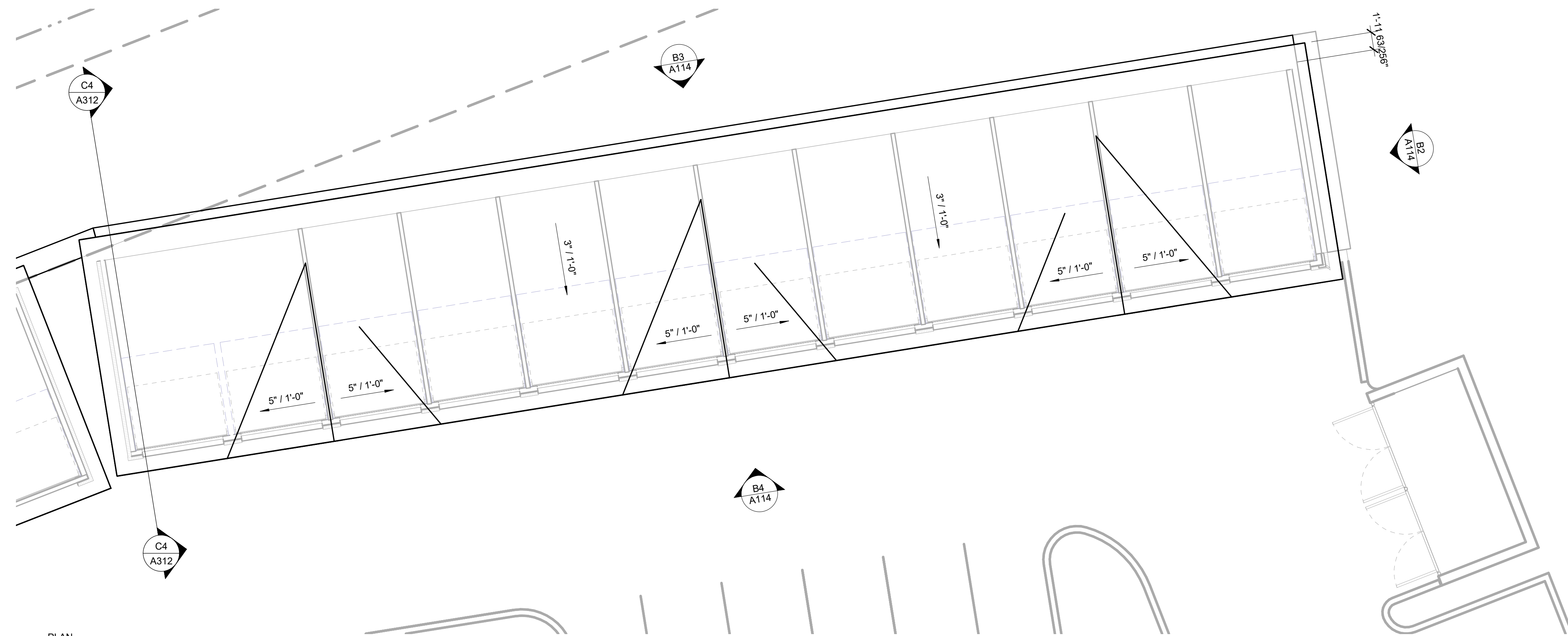
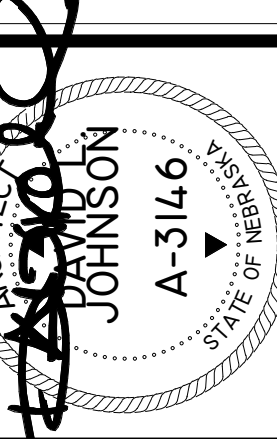
E

F

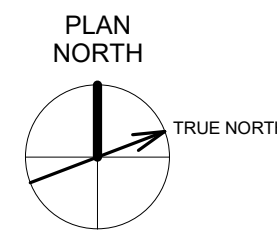
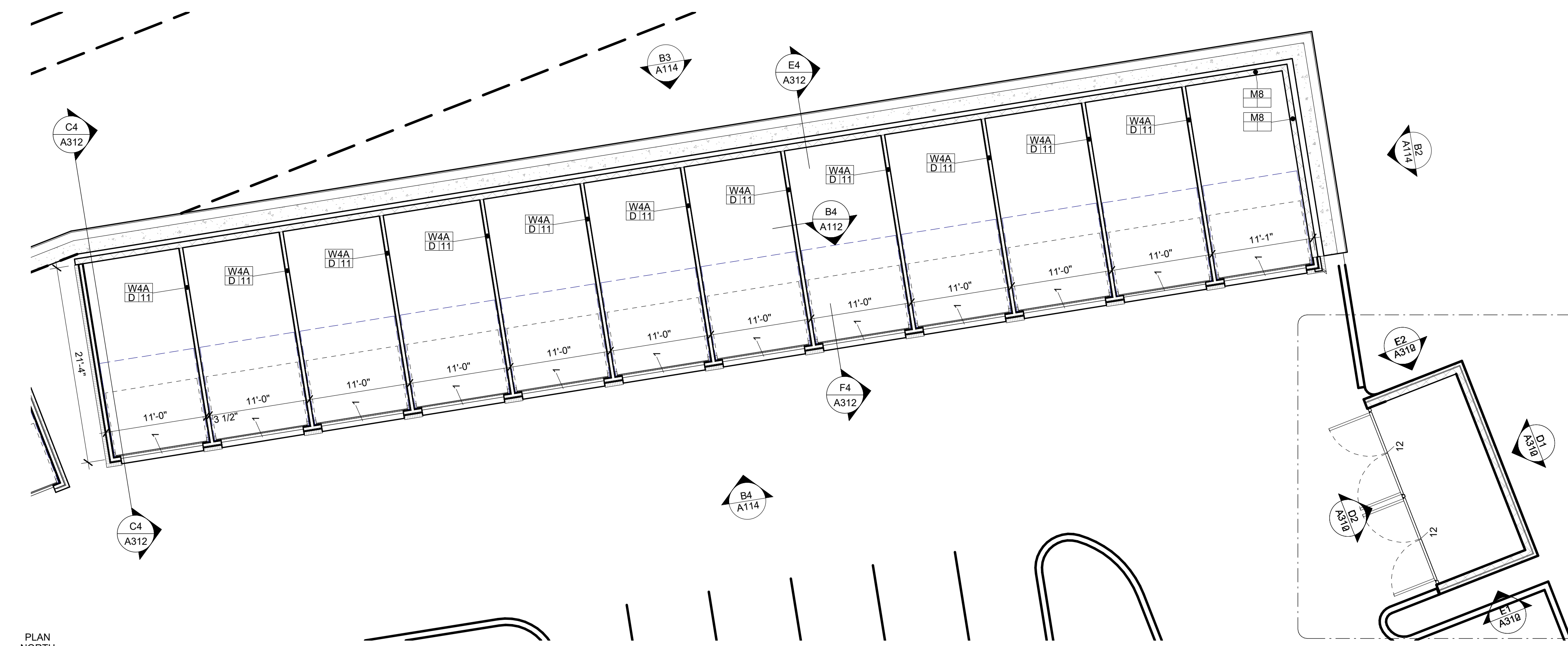
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(B2) NORTHWEST GARAGE ROOF PLAN
1/8" = 1'-0" 0 12



(B1) NORTHWEST GARAGE PLAN
1/8" = 1'-0" 0 12

A

B

C

D

E

F

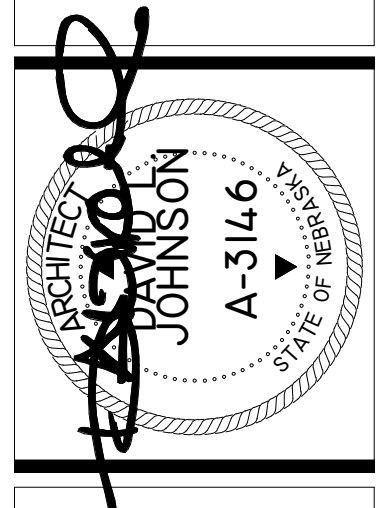
Quantum
Wolf Creek 2 Apartments
WEST GARAGES
NORTHWEST GARAGE PLAN AND ROOF PLAN

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A113

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Wolf Creek 2 Apartments
110 Plex
UNIT TYPES - B

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A117

DOOR & FRAME SCHEDULE - UNITS

MARK	DOOR			FRAME		HARDWARE										REMARKS
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	LOCK	DEADBOLT	SPRING	VIEWER	FLOOR STOP	WALL STOP	THRESHOLD	UL RATING	FIRE RATING (MINUTES)		
02	3'-0"	7'-0"	1 3/4"	WD	PTST	A	MTL	PF	3						PRIVACY	
03	5'-0"	7'-0"	1 3/4"	WD	PTST	D	WD	PTST	6							SLIDING BARN
04	2'-6"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3							DOUBLE FLUSH
05	5'-0"	7'-0"	1 3/4"	WD	N/A	D	WD	PTST	6							
06	2'-10"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3							DOUBLE
07	2'-6"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3							
08	2'-10"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3							
09	2'-10"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3						PRIVACY	
10	5'-0"	7'-0"	1 3/4"	WD	PTST	B	WD	PTST	6						BI-FOLD	
11	4'-2"	7'-0"	1 3/4"	WD	PTST	B	WD	PTST	6						BI-FOLD	
12	2'-6"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3						PRIVACY	
13	2'-6"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3						PRIVACY	
14	2'-0"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3						PRIVACY	
15	1'-10"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3						PRIVACY	

- NOTES:
- IF WALL STOP NOT POSSIBLE, PROVIDE FLOOR STOP WHERE APPROPRIATE.
 - ALL INTERIOR DOORS TO BE "MASONITE CROWN SERIES" OR EQUAL.
 - ALL INTERIOR DOOR HARDWARE TO BE SCHLAGE "A SERIES" LEVERS OR EQUAL.
 - PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS. (TYPICAL DOOR #1)
 - PROVIDE 10"x4" TRANSFER GRILL ABOVE DOOR AT LAUNDRY ROOM AND MECHANICAL ROOM.

UNIT ROOM FINISH SCHEDULE

NO.	ROOM DESIGNATION	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST		
100	ENTRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
101	PANTRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
102	KITCHEN	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
103	LIVING ROOM	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
104	LIVING/SLEEPING	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
105	BEDROOM 1	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
106	BEDROOM 2	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
107	BEDROOM 3	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
108	BATHROOM 1	TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
109	BATHROOM 2	TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
110	LINEN	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
111	CLOSET	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112	W.I.C.	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112A	W.I.C. 2	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
113	LAUNDRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
114	MECHANICAL	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
115	HALLWAY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
116	COAT	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	

- NOTES:
- FOR CEILING HEIGHTS SEE SECTIONS A3.10-A3.22
 - PERFORMED LAMINATE COUNTERTOPS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
 - MOEN BRANTFORD CHROME BATH ACCESSORIES - 1 EACH CHROME:
24" TOWEL BAR, HOOK, TOILET PAPER HOLDER, SHOWER ROD ON TUB - NO CURTAIN
 - NOT USED
 - SEE FINISH SCHEDULE (A4.01) FOR ALL FLOORING REQUIREMENTS
 - NOT USED
 - MMILLWORK TO BE:
5-1/2" TALL BASE IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
2-1/4" TALL CASING IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
 - WHITE WIRE SHELVES IN ALL CLOSETS, LAUNDRY, & LINEN
 - CEILINGS TO BE 25% WALL COLOR W/ SLAP TEXTURE FINISH
 - WALLS TO BE PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
 - CABINETS TO BE GRANDVIEW, BIRCH, SOUTHLINE SHAKER DOOR STYLE W/ STANDARD DRAWERS
 - DOOR HARDWARE: "KWIKSET TUSTIN SERIES" OR EQUAL
 - UNIT ENTRY DOORS: "MASONITE HOLISTER 2-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
 - INTERIOR DOORS: "MASONITE RIVERSIDE 5-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR

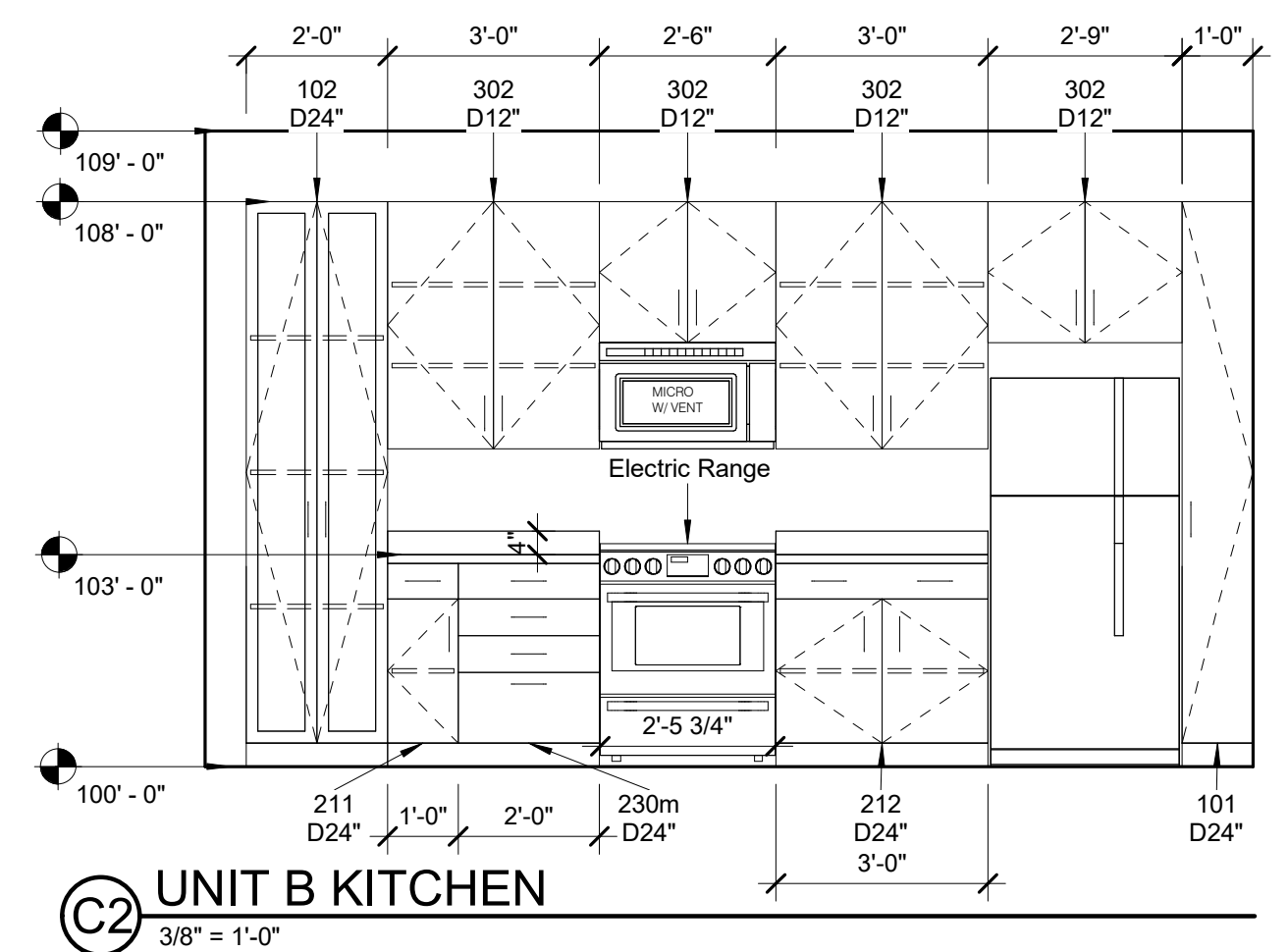
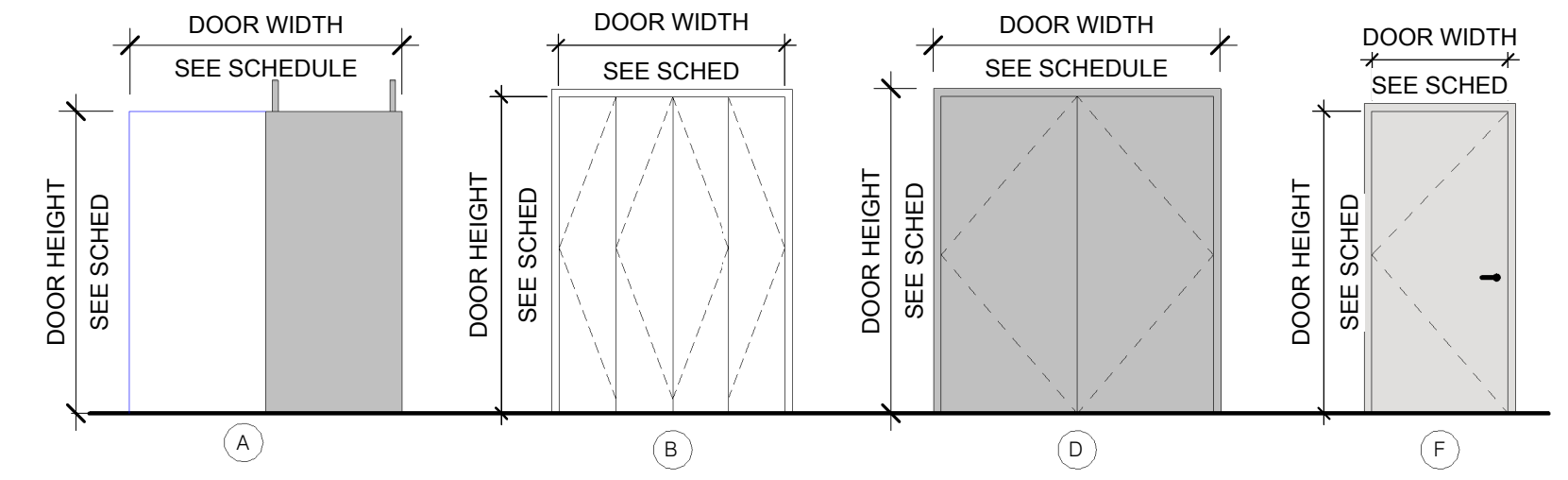
- NOTES >
- ADD FILLERS @ ALL CORNER CABINETS & CABINETS ABUTTING END WALLS AS REQUIRED. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS BEFORE ORDERING CABINETS.
 - ADD END PANELS @ ALL EXPOSED DISWASHERS.
 - PROVIDE BLOCKING FOR GRAB BARS IN ALL ANSI UNITS AT TOILETS, TUBS AND SHOWERS, TYP.
 - PAINT "PI" ON ALL UNIT WALLS.
 - ALL FLOORING TRANSITIONS TO BE AT MIDDLE POINT OF OPENING OR UNDER DOOR.
 - BOTTOM OF ALL MEDICINE CABINETS TO BE MOUNTED @ 40" A.F.F.

INTERIOR ELEVATION SYMBOLS LEGEND

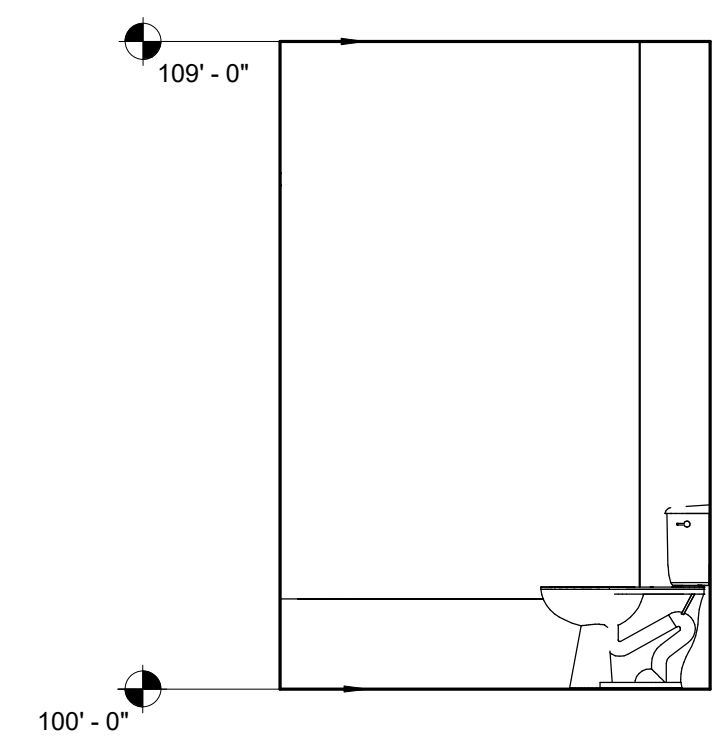
- CW GLAZED OPENING MARK
- P3 WALL ACCENT DESIGNATION

NOTES:
DOOR HARDWARE TO BE PUSH TYPE OR LEVER TYPE AND MOUNTED AT 48" MINIMUM
PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
ALL GLASS IN DOORS TO BE TEMPERED

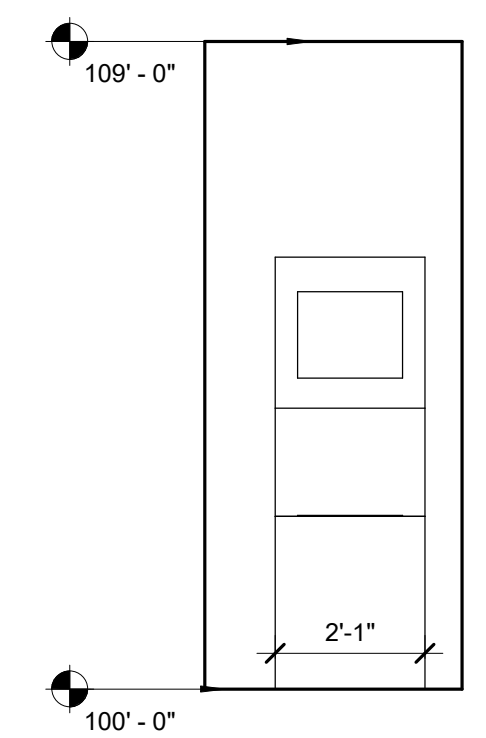
- ABBREVIATIONS:
- AL ALUMINUM
 - AN ANODIZED - COLOR SELECTED BY OWNER
 - CL CLAD (ALUMINUM - PREFINISHED)
 - FG FULL GLASS - MEDIUM STYLE
 - FL FLUSH
 - HM HOLLOW METAL
 - PF PREFINISHED
 - PT PAINTED
 - ST STAINED
 - STL STEEL



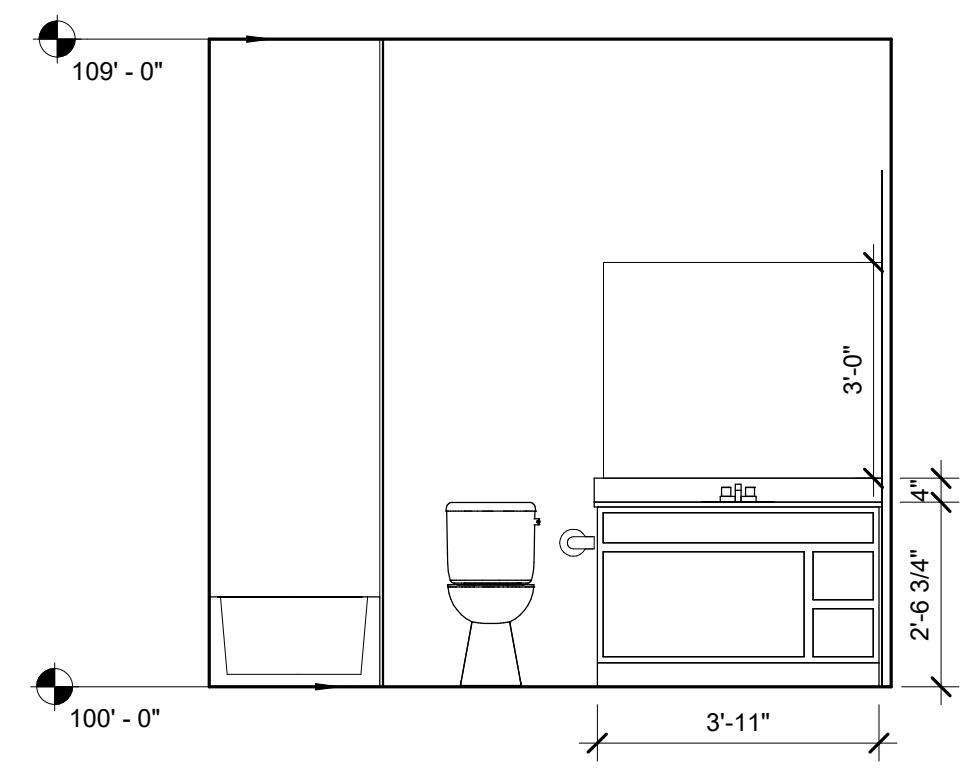
C2 UNIT B KITCHEN
3/8" = 1'-0"



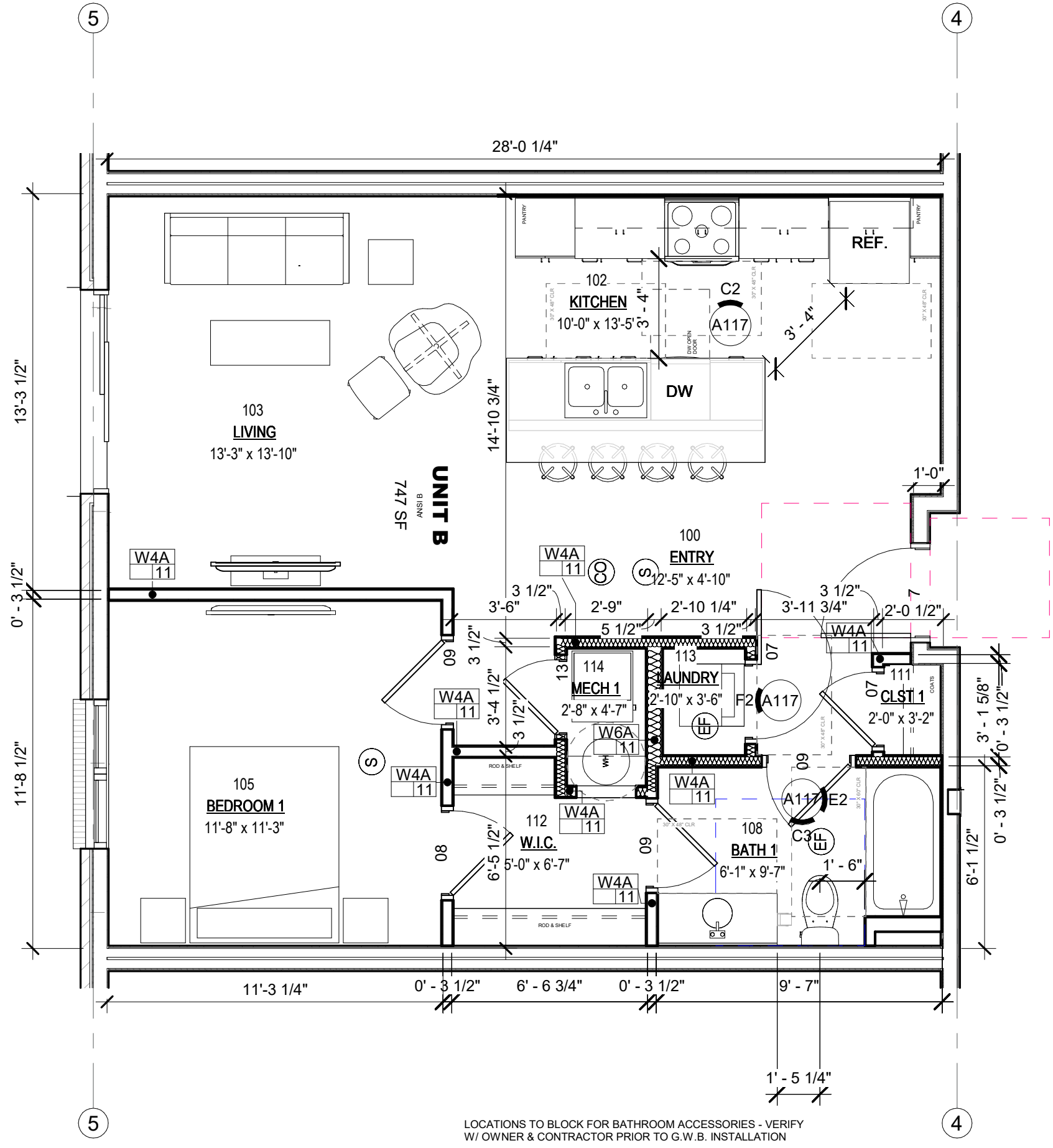
E2 UNIT B BATH
3/8" = 1'-0"



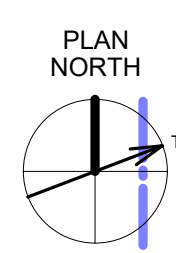
F2 UNIT B LAUNDRY
3/8" = 1'-0"



C3 UNIT B BATH
3/8" = 1'-0"



E4 UNIT TYPE - B 1 BEDROOM
1/4" = 1'-0" 0' 6" 1' 6" 2' 6" 3' 6" 4' 6" 5' 6" 6' 6" 7' 6" 8' 6" 9' 6" 10' 6" 11' 6" 12' 6"



LOCATIONS TO BLOCK FOR BATHROOM ACCESSORIES - VERIFY W/ OWNER & CONTRACTOR PRIOR TO G.W.B. INSTALLATION



DOOR & FRAME SCHEDULE - UNITS

MARK	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	FRAME MATERIAL	FRAME FINISH	BUTTS	LOCK	DEADBOLT	SPRING	VIEWER	FLOOR STOP	WALL STOP	THRESHOLD	UL RATING	FIRE RATING (MINUTES)	REMARKS
02	3'-0"	7'-0"	1 3/4"	WD	PT/ST	A	MTL	F	3										SLIDING BARN
03	5'-0"	7'-0"	1 3/4"	WD	PT/ST	D	WD	PT/ST	6										DOUBLE FLUSH
04	2'-8"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										
05	5'-0"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	6										DOUBLE
06	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										
07	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										
08	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										
09	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										PRIVACY
10	5'-0"	7'-0"	1 3/4"	WD	PT/ST	B	WD	PT/ST	6										BI-FOLD
11	4'-2"	7'-0"	1 3/4"	WD	PT/ST	B	WD	PT/ST	6										BI-FOLD
12	2'-0"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										PRIVACY
13	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										PRIVACY
14	2'-0"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										PRIVACY
15	1'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										PRIVACY

NOTES:
1. IF WALL STOP NOT POSSIBLE, PROVIDE FLOOR STOP WHERE APPROPRIATE.
2. ALL INTERIOR DOORS TO BE "MASONITE CROWN SERIES" OR EQUAL.
3. ALL INTERIOR DOOR HARDWARE TO BE SCHLAGE "A" SERIES LEVERS OR EQUAL.
4. PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS. (TYPICAL DOOR #1)
5. PROVIDE 16"x24" TRANSFER GRILL ABOVE DOOR AT LAUNDRY ROOM AND MECHANICAL ROOM

UNIT ROOM FINISH SCHEDULE

NO.	ROOM DESIGNATION	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST	MATERIAL	
100	ENTRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
101	PANTRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
102	KITCHEN	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
103	LIVING ROOM	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
104	LIVING/SLEEPING	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
105	BEDROOM 1	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
106	BEDROOM 2	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
107	BEDROOM 3	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
108	BATHROOM 1	TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
109	BATHROOM 2	TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
110	LINEN	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
111	CLOSET	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112	W.I.C.	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112A	W.I.C.	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
113	LAUNDRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
114	MECHANICAL	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
115	HALLWAY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
116	COAT	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	

NOTES:
1) FOR CEILING HEIGHTS SEE SECTIONS A3.10-A3.22
2) PREFORMED LAMINATE COUNTERTOPS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
3) MOEN BRANTFORD CHROME BATH ACCESSORIES - 1 EACH CHROME:
24" TOWEL BAR, HOOK, TOILET PAPER HOLDER, SHOWER ROD ON TUB - NO CURTAIN
4) NOT USED
5) SEE FINISH SCHEDULE (A4.01) FOR ALL FLOORING REQUIREMENTS
6) NOT USED
7) MMILLWORK TO BE:
5-1/2" TALL BASE IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
2-1/4" TALL CASING IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
8) WHITE WIRE SHELVES IN ALL CLOSETS, LAUNDRY, & LINEN
9) CEILING TO BE 25% WALL COLOR W/ SLAP TEXTURE FINISH
10) WALLS TO BE PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
11) CABINETS TO BE GRANDVIEW, BIRCH, SOUTHLINE SHAKER DOOR STYLE W/ STANDARD DRAWERS
12) DOOR HARDWARE: "KWIKSET TUSTIN SERIES" OR EQUAL
13) UNIT ENTRY DOORS: "MASONITE HOLISTER 2-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
14) INTERIOR DOORS: "MASONITE RIVERSIDE 5-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR

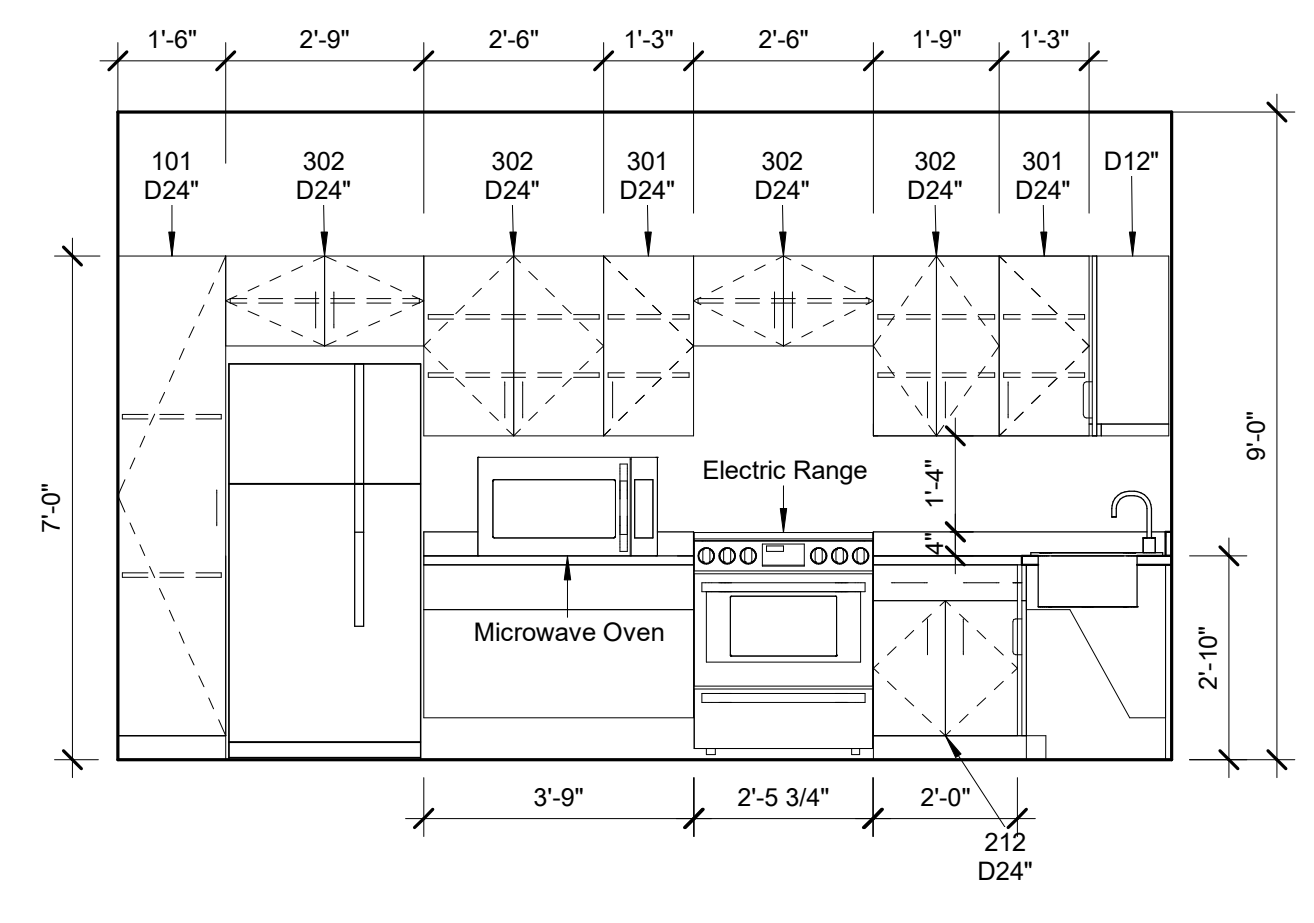
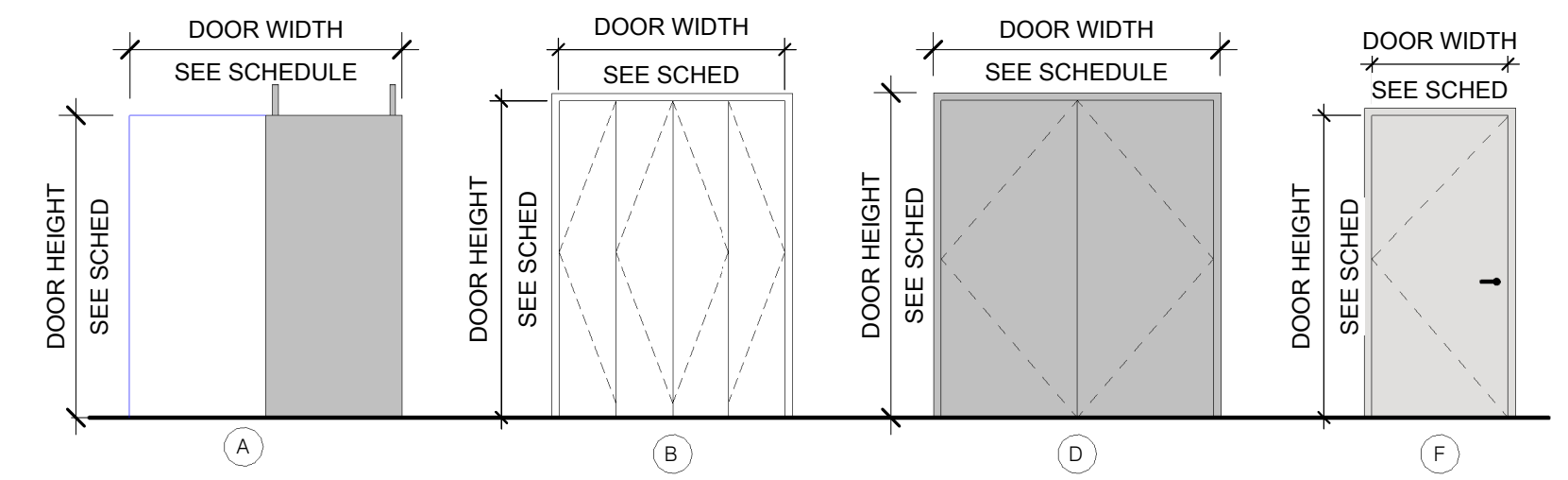
NOTES >
• ADD FILLERS @ ALL CORNER CABINETS & CABINETS ABUTTING END WALLS AS REQUIRED. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS BEFORE ORDERING CABINETS.
• ADD END PANELS @ ALL EXPOSED DISHWASHERS.
• PROVIDE BLOCKING FOR GRAB BARS IN ALL ANSI UNITS AT TOILETS, TUBS AND SHOWERS, TYP.
• PAINT "PI" ON ALL UNIT WALLS.
• ALL FLOORING TRANSITIONS TO BE AT MIDDLE POINT OF OPENING OR UNDER DOOR
• BOTTOM OF ALL MEDICINE CABINETS TO BE MOUNTED @ 40" A.F.F.

INTERIOR ELEVATION SYMBOLS LEGEND

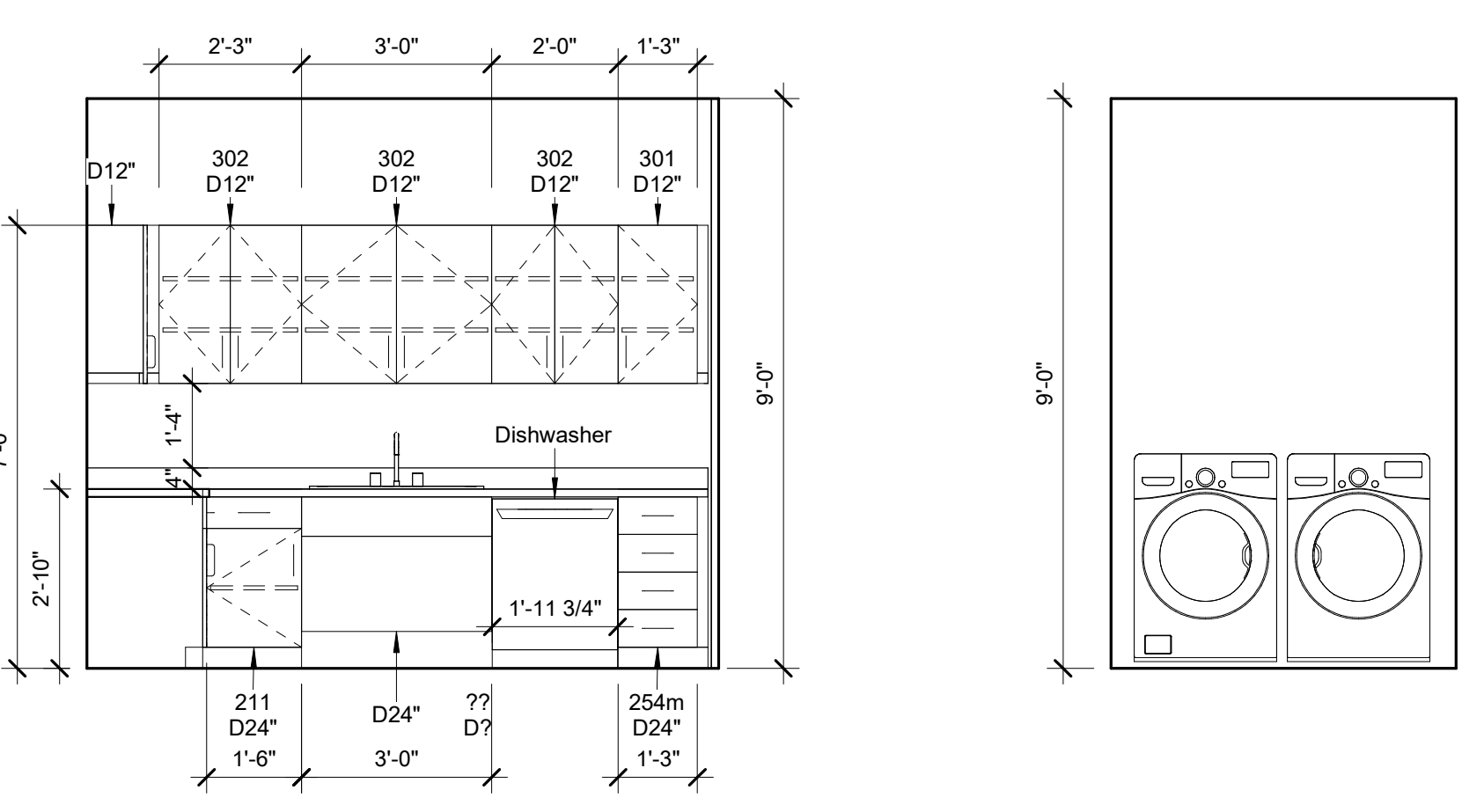
- CW - GLAZED OPENING MARK
- P3 - WALL ACCENT DESIGNATION

NOTES:
DOOR HARDWARE TO BE PUSH TYPE OR LEVER TYPE AND MOUNTED AT 48" MINIMUM
PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
ALL GLASS IN DOORS TO BE TEMPERED

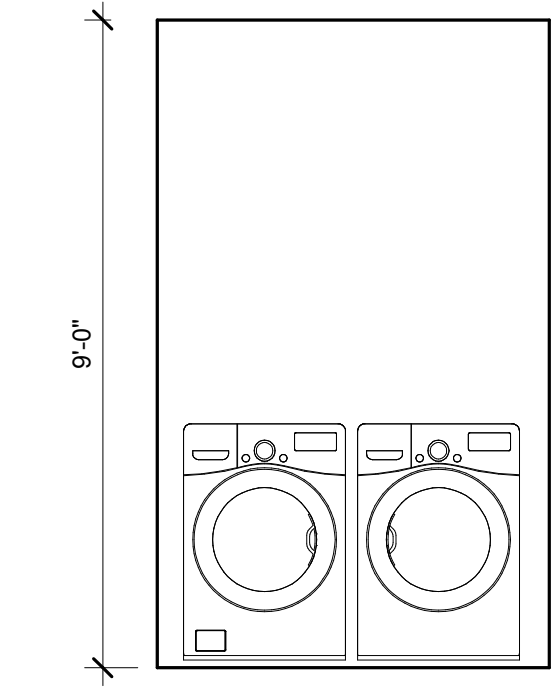
ABBREVIATIONS:
AL - ALUMINUM
AN - ANODIZED - COLOR SELECTED BY OWNER
CL - CLAD (ALUMINUM - PREFINISHED)
FG - FULL GLASS - MEDIUM STYLE
FL - FLUSH
HM - HOLLOW METAL
PF - PREFINISHED
PT - PAINTED
ST - STAINED
STL - STEEL



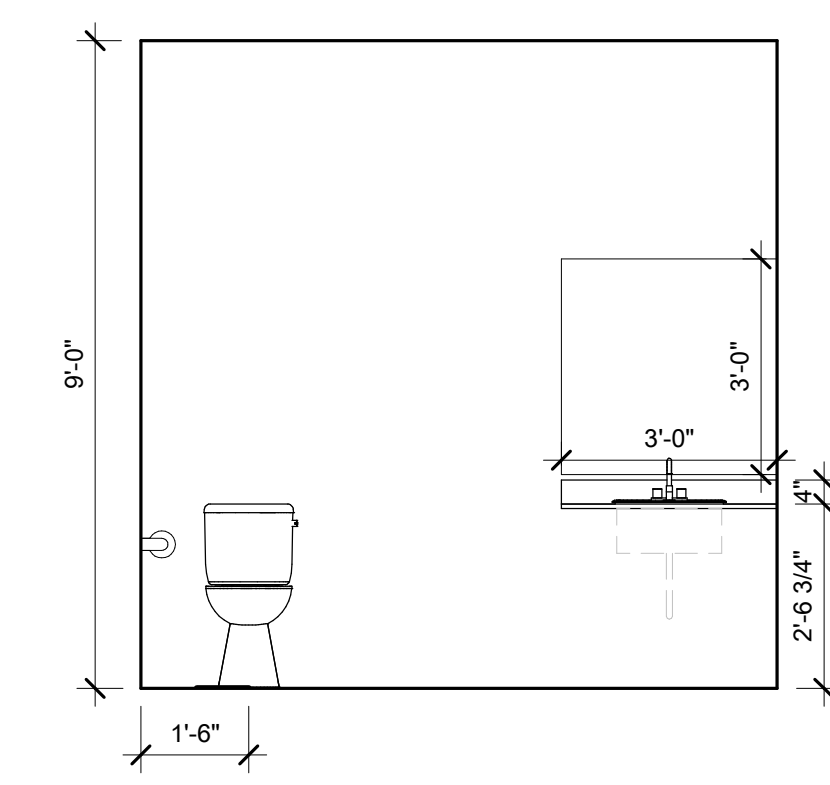
C2 UNIT B2 KITCHEN
3/8" = 1'-0"



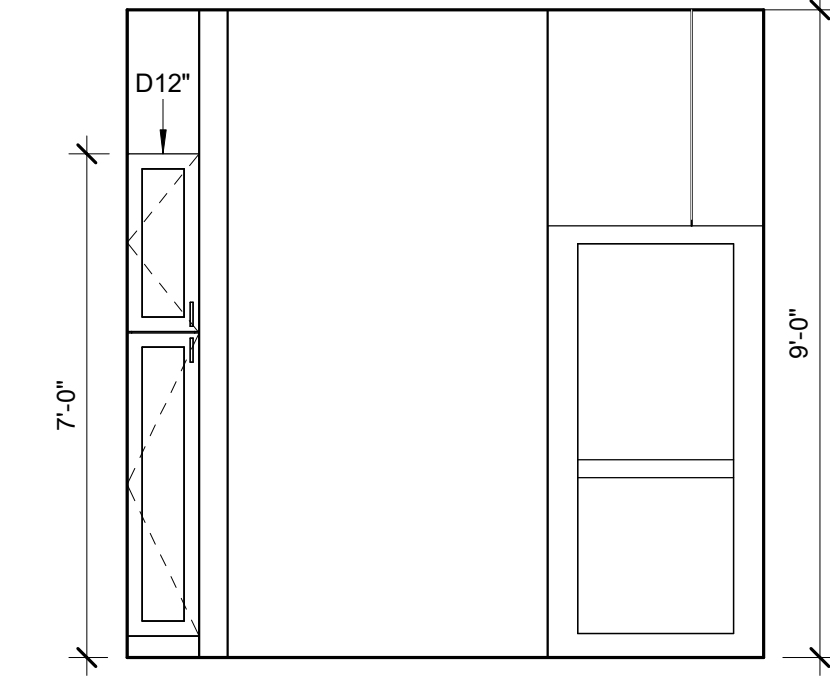
E2 UNIT B2 KITCHEN
3/8" = 1'-0"



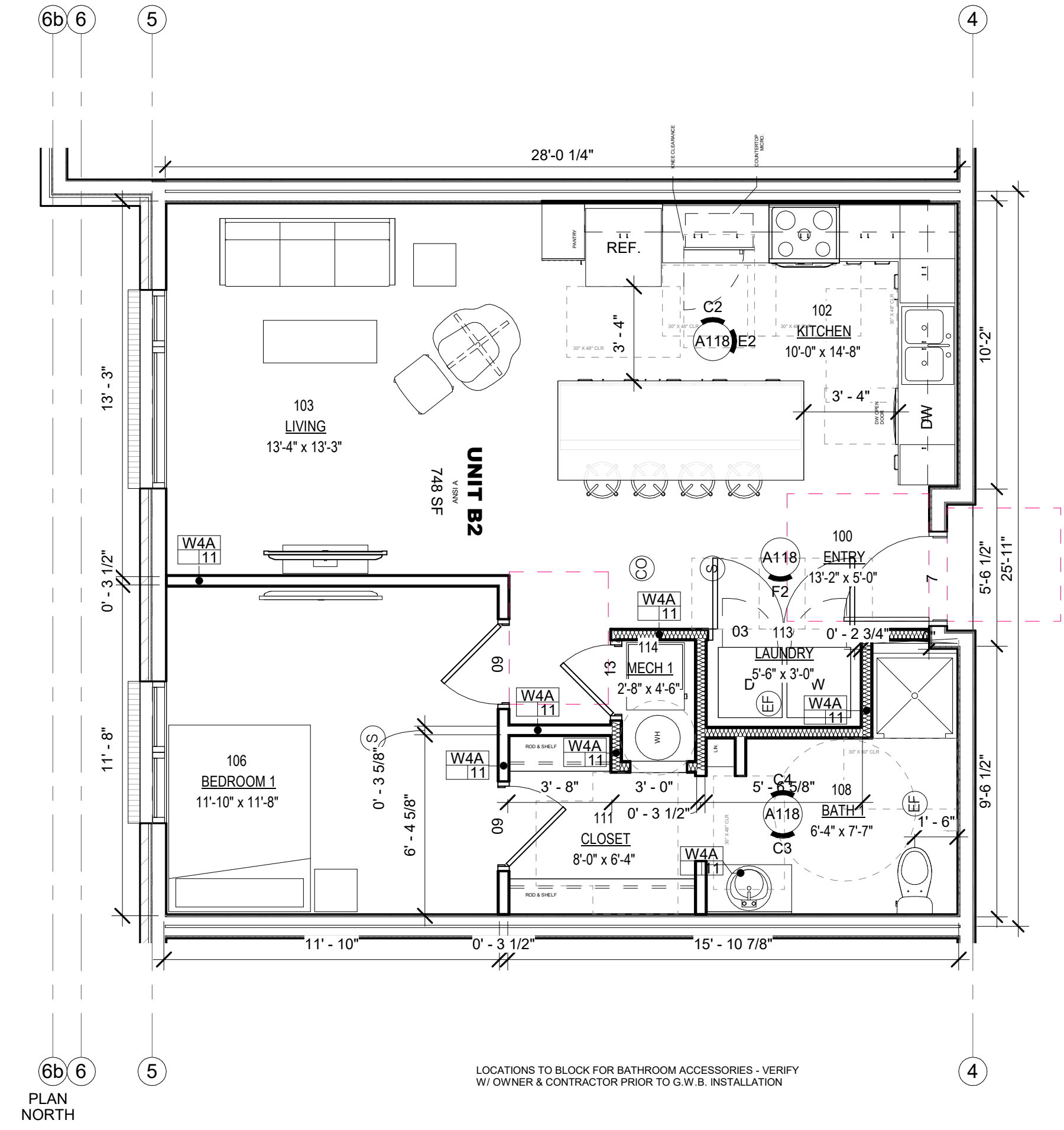
F2 UNIT B2 LAUNDRY
3/8" = 1'-0"



C3 UNIT B2 BATH
3/8" = 1'-0"

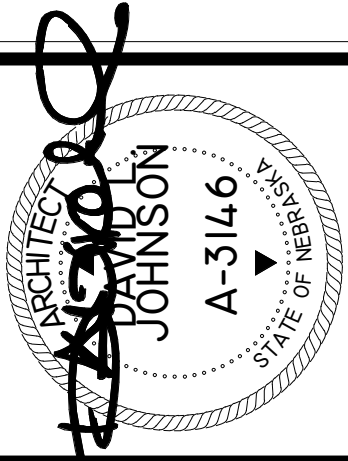


C4 UNIT B2 BATH
3/8" = 1'-0"



E4 UNIT TYPE - B2 - 1 BEDROOM
1/4" = 1'-0" 0' 6" 6"

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Quantum
Wolf Creek 2 Apartments
110 Plex
UNIT TYPES - C

NO. - ISSUED FOR - DATE -

JOB NO. > 5201700

A119

DOOR & FRAME SCHEDULE - UNITS

MARK	DOOR			FRAME		HARDWARE							REMARKS						
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	LOCK	DEADBOLT	SPRING	VIEWER	FLOOR STOP	WALL STOP	THRESHOLD		UL RATING	FIRE RATING (MINUTES)				
02	3'-0"	7'-0"	1 3/4"	WD	PTST	A	MTL	PF	3	PRVACY									
03	5'-0"	7'-0"	1 3/4"	WD	PTST	D	WD	PTST	6										SLIDING BARN
04	2'-6"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3										DOUBLE FLUSH
05	5'-0"	7'-0"	1 3/4"	WD	N/A	D	WD	PTST	6										
06	2'-10"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3										
07	2'-6"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3										DOUBLE
08	2'-10"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3										
09	2'-10"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3	PRVACY									
10	5'-0"	7'-0"	1 3/4"	WD	PTST	B	WD	PTST	6	BI-FOLD									
11	4'-2"	7'-0"	1 3/4"	WD	PTST	B	WD	PTST	6	BI-FOLD									
12	2'-6"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3	PRVACY									
13	2'-6"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3	PRVACY									
14	2'-0"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3										
15	1'-10"	7'-0"	1 3/4"	WD	PTST	F	WD	PTST	3										

- NOTES:
1. IF WALL STOP NOT POSSIBLE, PROVIDE FLOOR STOP WHERE APPROPRIATE.
2. ALL INTERIOR DOORS TO BE "MASONITE CROWN SERIES" OR EQUAL.
3. ALL INTERIOR DOOR HARDWARE TO BE SCHLAGE "A SERIES" LEVERS OR EQUAL.
4. PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS. (TYPICAL DOOR #1)
5. PROVIDE "FPX" TRANSFER GRILL ABOVE DOOR AT LAUNDRY ROOM AND MECHANICAL ROOM

UNIT ROOM FINISH SCHEDULE

NO.	ROOM DESIGNATION	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST		
100	ENTRY		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
101	PANTRY		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
102	KITCHEN		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
103	LIVING ROOM		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
104	LIVING/SLEEPING		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
105	BEDROOM 1		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
106	BEDROOM 2		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
107	BEDROOM 3		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
108	BATHROOM 1		TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
109	BATHROOM 2		TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
110	LINEN		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
111	CLOSET		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112	W.I.C.		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112A	W.I.C. 2		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
113	LAUNDRY		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
114	MECHANICAL		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
115	HALLWAY		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
116	COAT		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	

- NOTES:
1) FOR CEILING HEIGHTS SEE SECTIONS A3.10-A3.22
2) PREFORMED LAMINATE COUNTERTOPS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
3) MOEN BRANTFORD CHROME BATH ACCESSORIES - 1 EACH CHROME:
24" TOWEL BAR, HOOK, TOILET PAPER HOLDER, SHOWER ROD ON TUB - NO CURTAIN
4) NOT USED
5) SEE FINISH SCHEDULE (A4.01) FOR ALL FLOORING REQUIREMENTS
6) NOT USED
7) MMILLWORK TO BE:
5-1/2" TALL BASE IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
2-1/4" TALL CASING IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
8) WHITE WIRE SHELVES IN ALL CLOSETS, LAUNDRY, & LINEN
9) CEILINGS TO BE 25% WALL COLOR W/ SLAP TEXTURE FINISH
10) WALLS TO BE PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
11) CABINETS TO BE GRANDVIEW, BIRCH, SOUTHLINE SHAKER DOOR STYLE W/ STANDARD DRAWERS
12) DOOR HARDWARE: "KWIKSET TUSTIN SERIES" OR EQUAL
13) UNIT ENTRY DOORS: "MASONITE HOLISTER 2-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
14) INTERIOR DOORS: "MASONITE RIVERSIDE 5-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR

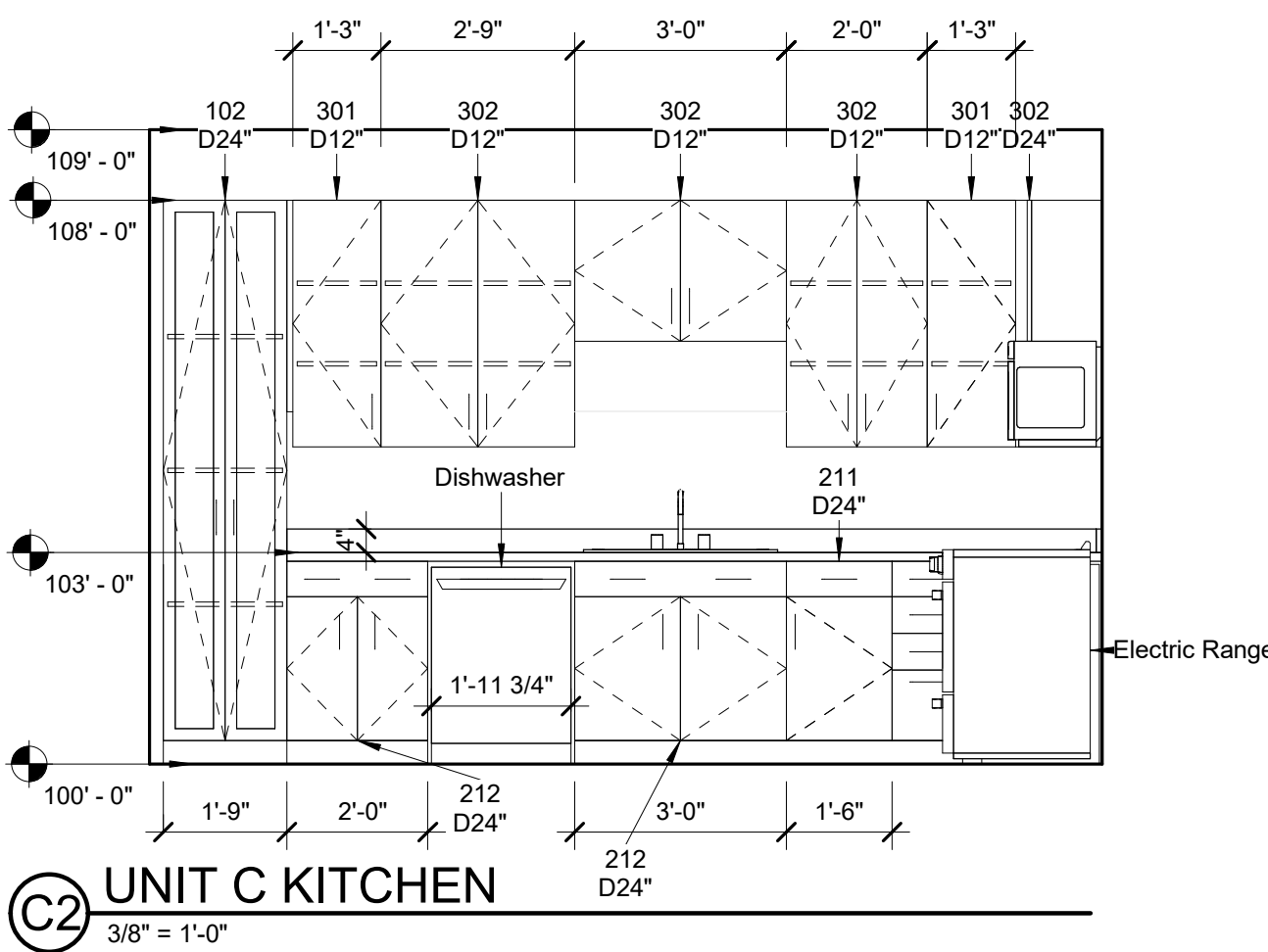
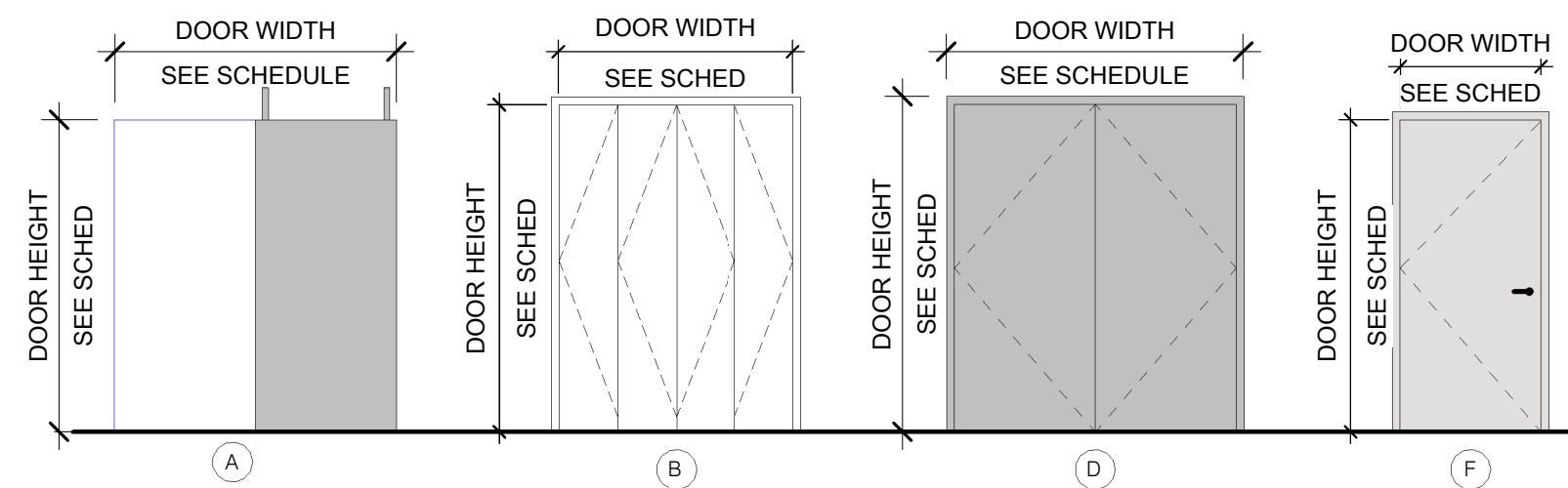
- NOTES >
• ADD FILLERS @ ALL CORNER CABINETS & CABINETS ABUTTING END WALLS AS REQUIRED. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS BEFORE ORDERING CABINETS.
• ADD END PANELS @ ALL EXPOSED DISHWASHERS.
• PROVIDE BLOCKING FOR GRAB BARS IN ALL ANSI UNITS AT TOILETS, TUBS AND SHOWERS, TYP.
• PAINT "PI" ON ALL UNIT WALLS.
• ALL FLOORING TRANSITIONS TO BE AT MIDDLE POINT OF OPENING OR UNDER DOOR.
• BOTTOM OF ALL MEDICINE CABINETS TO BE MOUNTED @ 40" A.F.F.

INTERIOR ELEVATION SYMBOLS LEGEND

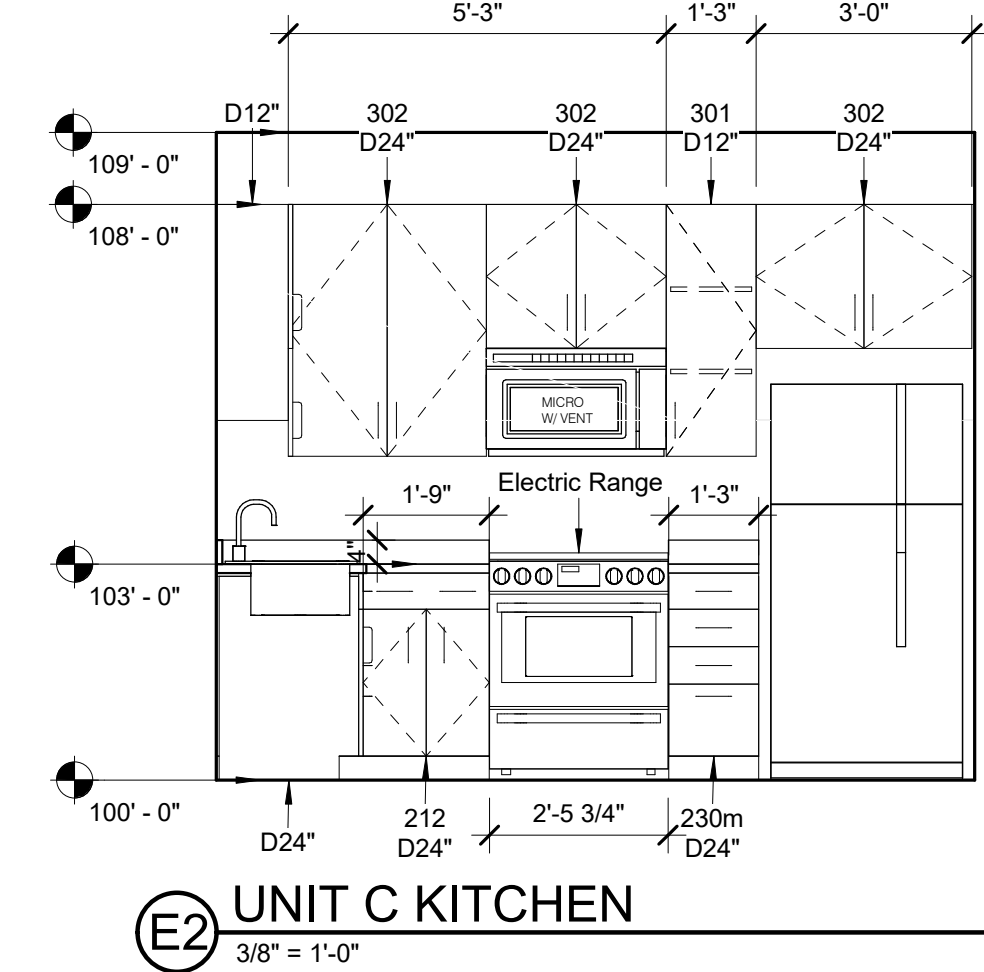
- CW GLAZED OPENING MARK
- P3 WALL ACCENT DESIGNATION

- NOTES:
DOOR HARDWARE TO BE PUSH TYPE OR LEVER TYPE AND MOUNTED AT 48" MINIMUM
PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
ALL GLASS IN DOORS TO BE TEMPERED

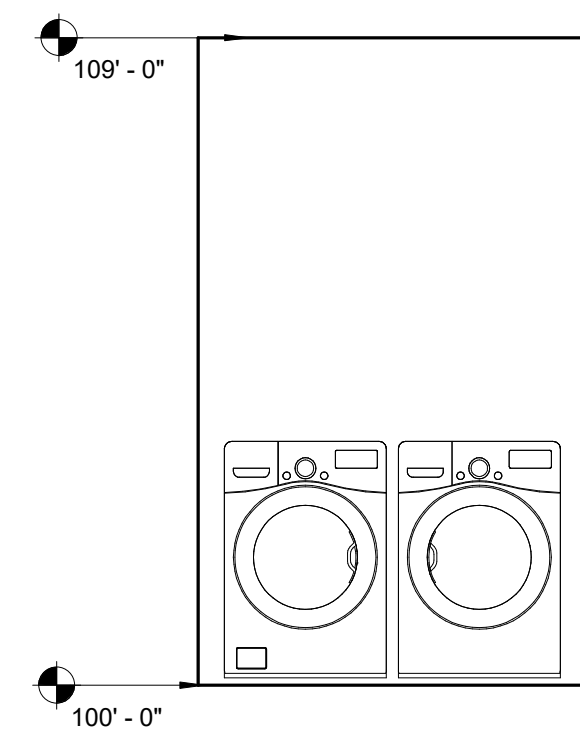
- ABBREVIATIONS:
AL ALUMINUM
AN ANODIZED - COLOR SELECTED BY OWNER
CL CLAD (ALUMINUM - PREFINISHED)
FG FULL GLASS - MEDIUM STYLE
FL FLUSH
HM HOLLOW METAL
PF PREFINISHED
PT PAINTED
ST STAINED
STL STEEL



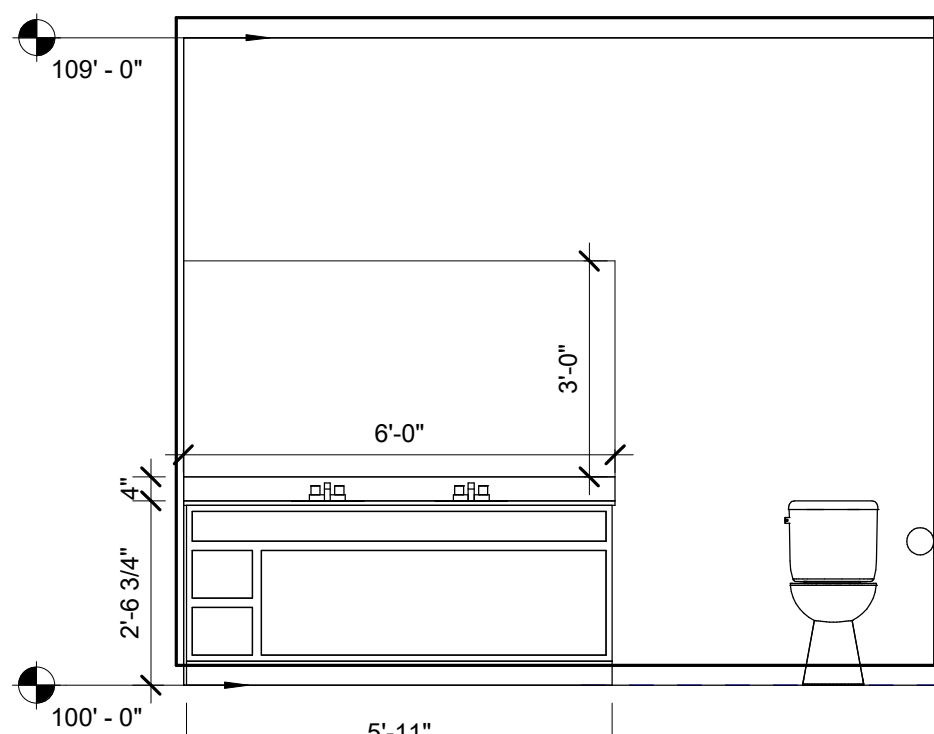
C2 UNIT C KITCHEN
3/8" = 1'-0"



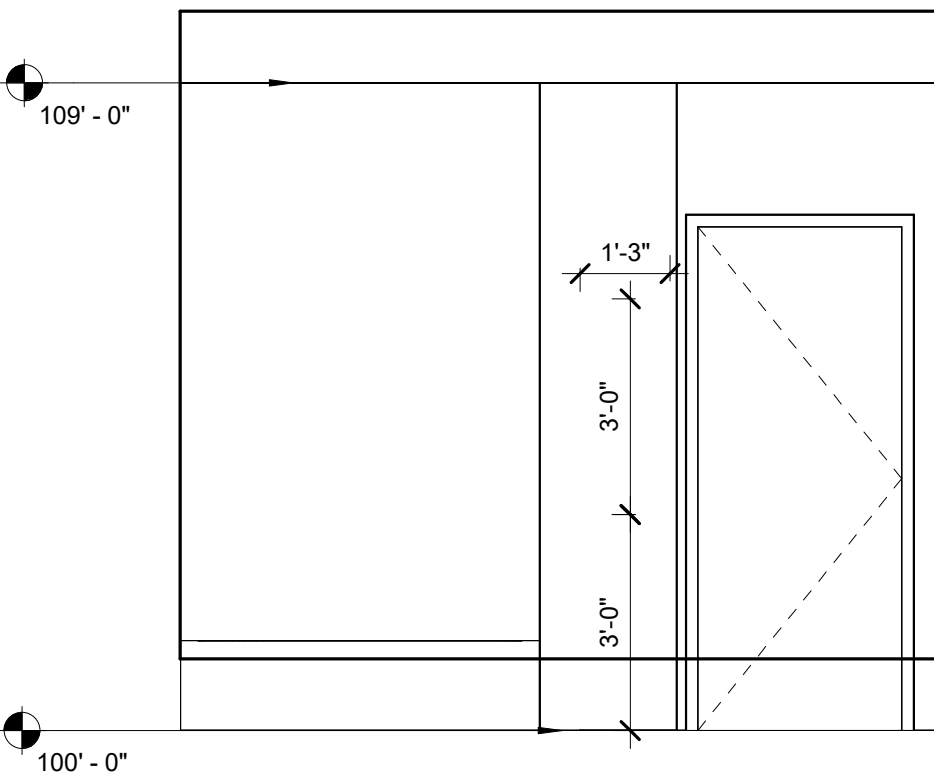
E2 UNIT C KITCHEN
3/8" = 1'-0"



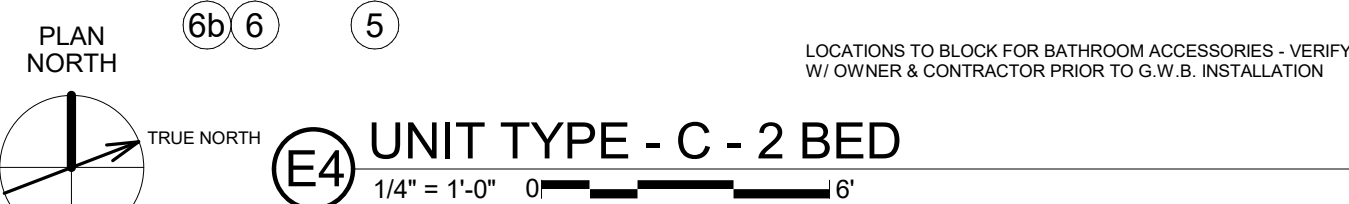
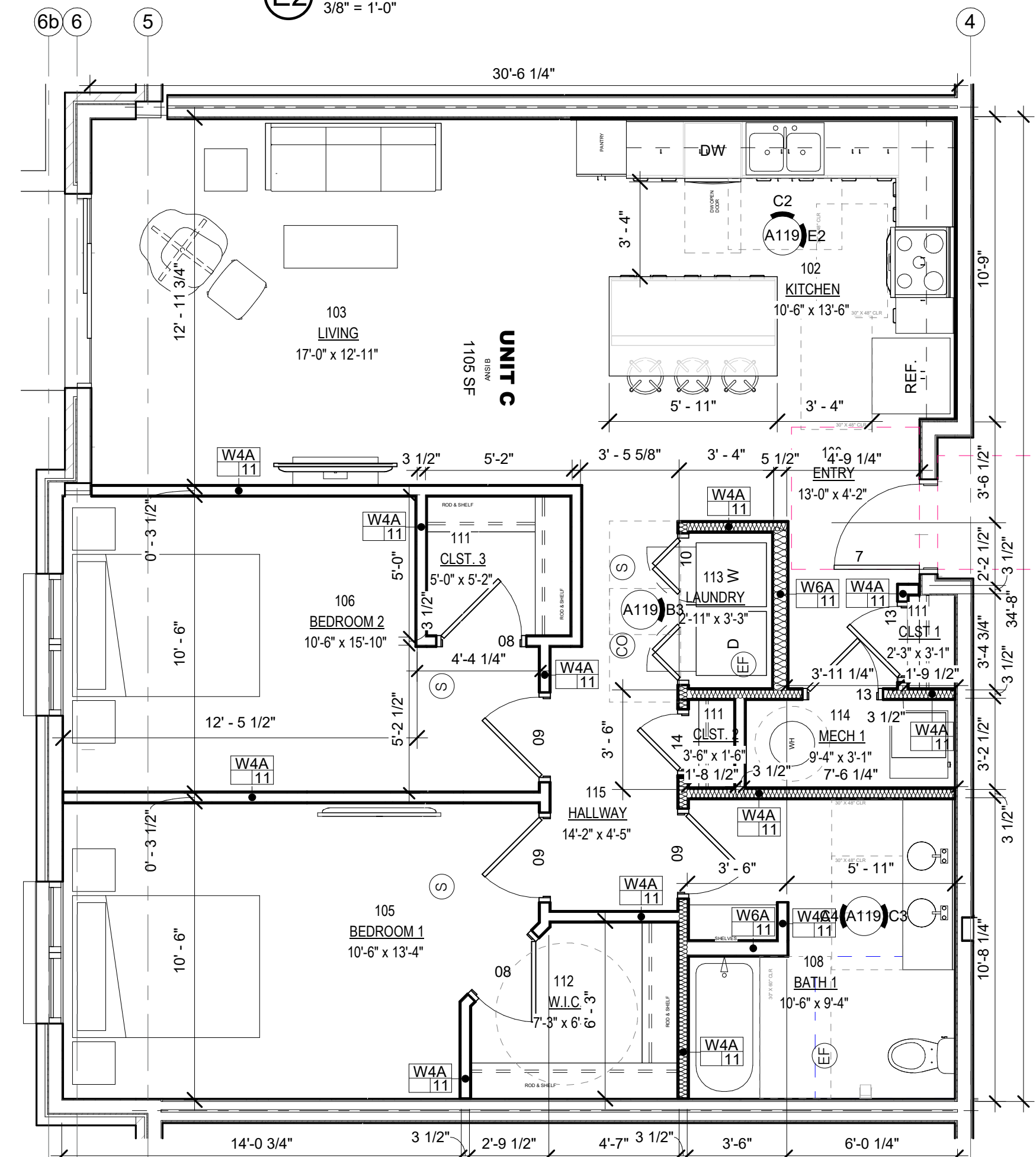
B3 UNIT C LAUNDRY
3/8" = 1'-0"



C3 UNIT C BATH
3/8" = 1'-0"



C4 UNIT C BATH
3/8" = 1'-0"



E4 UNIT TYPE - C - 2 BED
1/4" = 1'-0"

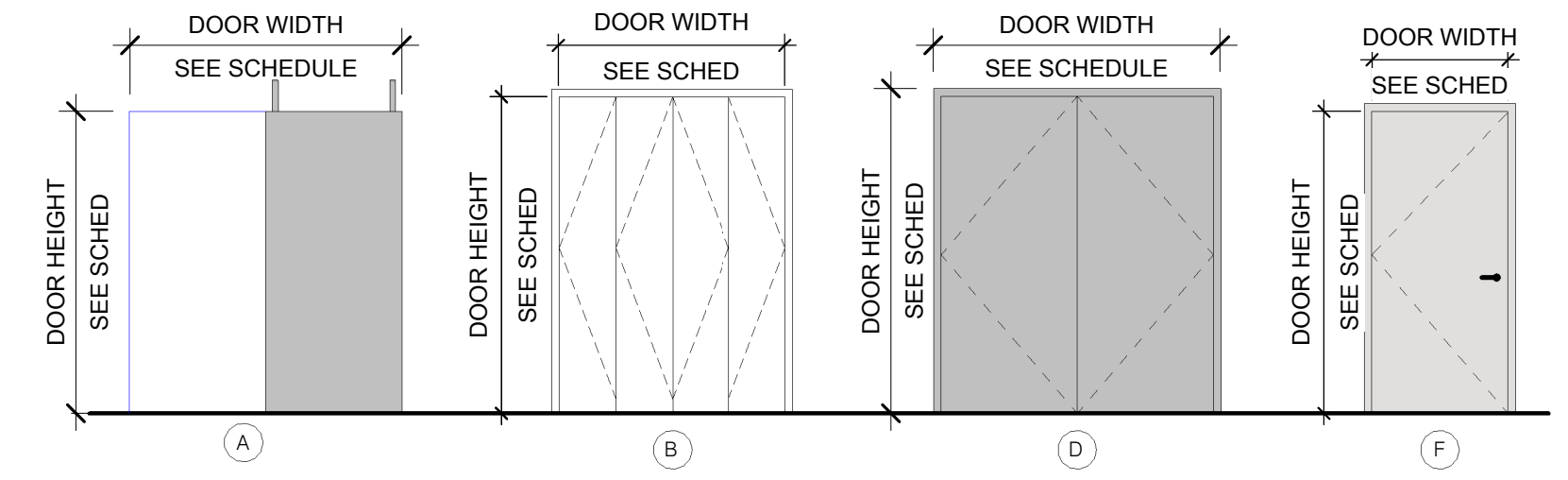


DOOR & FRAME SCHEDULE - UNITS

MARK	DOOR				FRAME		HARDWARE										REMARKS				
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	BUTTS	LOCK	DEADBOLT	SPRING	VIEWER	FLOOR STOP	WALL STOP	THRESHOLD		UL RATING	FIRE RATING (MINUTES)		
02	3'-0"	7'-0"	1 3/4"	WD	PT/ST	A	MTL	PF	3	PRV										SLIDING BARN	
03	5'-0"	7'-0"	1 3/4"	WD	PT/ST	D	WD	PT/ST	6												DOUBLE FLUSH
04	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												
05	5'-0"	7'-0"	1 3/4"	WD	N/A	D	WD	PT/ST	6												
06	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												
07	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												DOUBLE
08	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												
09	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												PRV
10	5'-0"	7'-0"	1 3/4"	WD	PT/ST	B	WD	PT/ST	6												BI-FOLD
11	4'-2"	7'-0"	1 3/4"	WD	PT/ST	B	WD	PT/ST	6												
12	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												PRV
13	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												PRV
14	2'-0"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												
15	1'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3												

NOTES:
DOOR HARDWARE TO BE PUSH TYPE OR LEVER TYPE AND MOUNTED AT 48" MINIMUM
PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
ALL GLASS IN DOORS TO BE TEMPERED

ABBREVIATIONS:
AL ALUMINUM
AN ANODIZED - COLOR SELECTED BY OWNER
CL CLAD (ALUMINUM - PREFINISHED)
FG FULL GLASS - MEDIUM STILE
FL FLUSH
HM HOLLOW METAL
PF PREFINISHED
PT PAINTED
ST STAINED
STL STEEL



NOTES:
1. IF WALL STOP NOT POSSIBLE, PROVIDE FLOOR STOP WHERE APPROPRIATE.
2. ALL INTERIOR DOORS TO BE "MASONITE CROWN SERIES" OR EQUAL.
3. ALL INTERIOR DOOR HARDWARE TO BE SCHLAGE "A" SERIES LEVERS OR EQUAL.
4. PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS. (TYPICAL DOOR #1)
5. PROVIDE "P" TRANSFER GRILL ABOVE DOOR AT LAUNDRY ROOM AND MECHANICAL ROOM

UNIT ROOM FINISH SCHEDULE

NO.	ROOM DESIGNATION	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST		
100	ENTRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
101	PANTRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
102	KITCHEN	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
103	LIVING ROOM	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
104	LIVING/SLEEPING	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
105	BEDROOM 1	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
106	BEDROOM 2	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
107	BEDROOM 3	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
108	BATHROOM 1	TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
109	BATHROOM 2	TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
110	LINEN	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
111	CLOSET	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112	W.I.C.	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112A	W.I.C. 2	CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
113	LAUNDRY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
114	MECHANICAL	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
115	HALLWAY	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
116	COAT	LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	

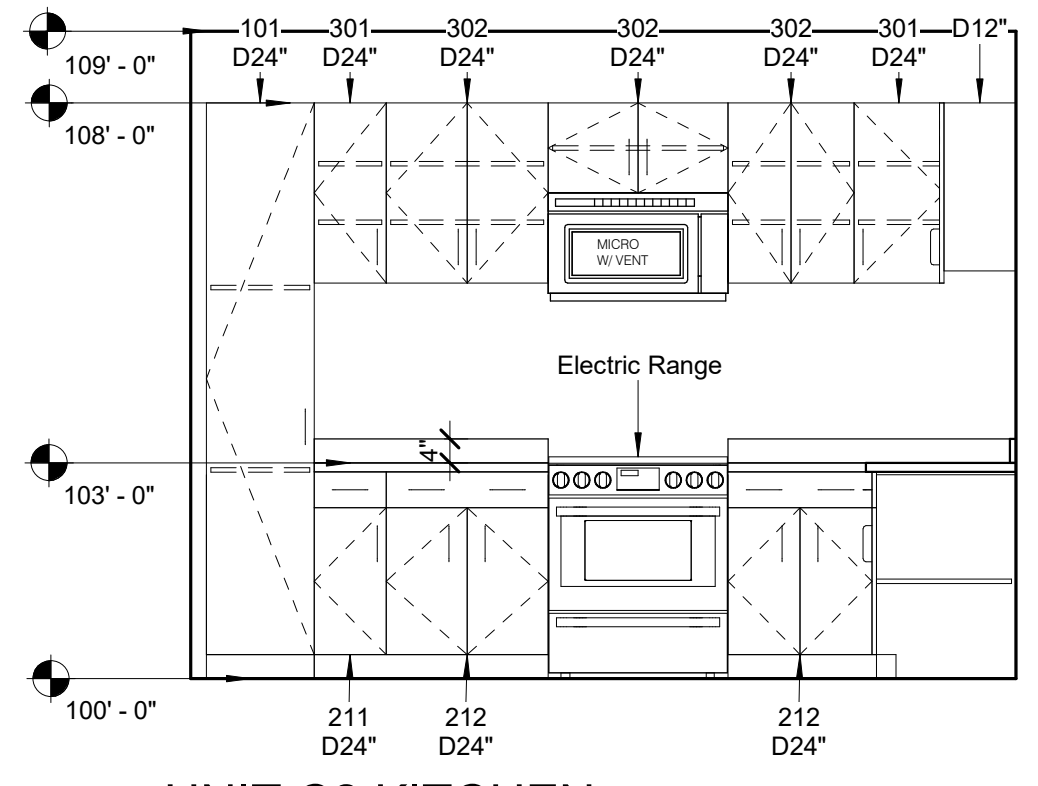
- NOTES:
1) FOR CEILING HEIGHTS SEE SECTIONS A3.10-A3.22
2) PREFORMED LAMINATE COUNTERTOPS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
3) MOEN BRANTFORD CHROME BATH ACCESSORIES - 1 EACH CHROME:
24" TOWEL BAR, HOOK, TOILET PAPER HOLDER, SHOWER ROD ON TUB - NO CURTAIN
4) NOT USED
5) SEE FINISH SCHEDULE (A4.01) FOR ALL FLOORING REQUIREMENTS
6) NOT USED
7) MILLWORK TO BE:
5-1/2" TALL BASE IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
2-1/4" TALL CASING IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
8) WHITE WIRE SHELVES IN ALL CLOSETS, LAUNDRY, & LINEN
9) CEILINGS TO BE 25% WALL COLOR W/ SLAP TEXTURE FINISH
10) WALLS TO BE PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
11) CABINETS TO BE GRANDVIEW, BIRCH, SOUTHLINE SHAKER DOOR STYLE W/ STANDARD DRAWERS
12) DOOR HARDWARE: "KWIKSET TUSTIN SERIES" OR EQUAL
13) UNIT ENTRY DOORS: "MASONITE HOLISTER 2-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
14) INTERIOR DOORS: "MASONITE RIVERSIDE 5-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR

NOTES >

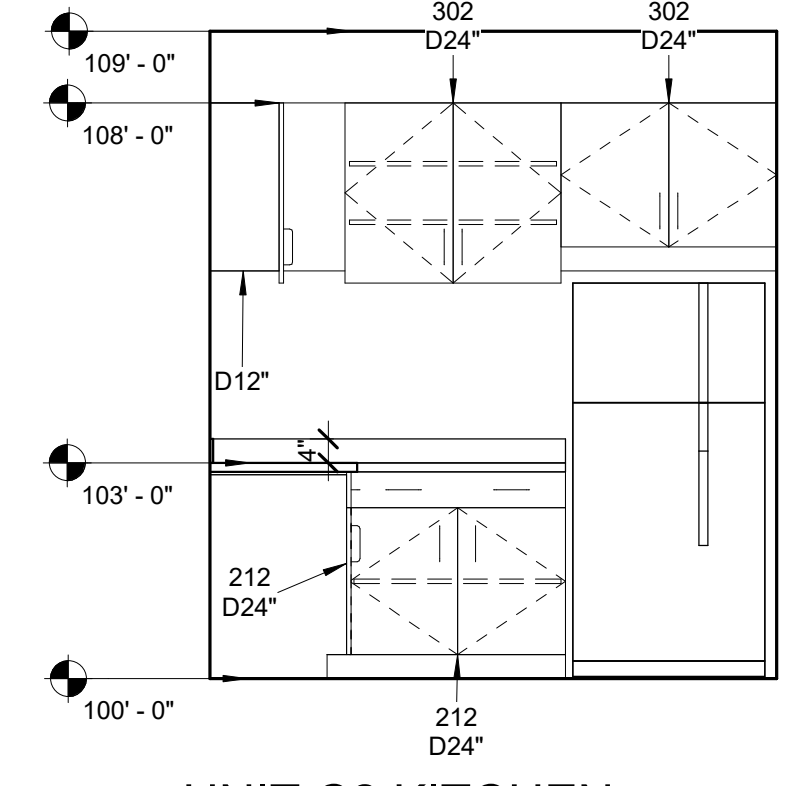
- ADD FILLERS @ ALL CORNER CABINETS & CABINETS ABUTTING END WALLS AS REQUIRED. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS BEFORE ORDERING CABINETS.
- ADD END PANELS @ ALL EXPOSED DISWASHERS.
- PROVIDE BLOCKING FOR GRAB BARS IN ALL ANSI UNITS AT TOILETS, TUBS AND SHOWERS, TYP.
- PAINT "P" ON ALL UNIT WALLS.
- ALL FLOORING TRANSITIONS TO BE AT MIDDLE POINT OF OPENING OR UNDER DOOR.
- BOTTOM OF ALL MEDICINE CABINETS TO BE MOUNTED @ 40" A.F.F.

INTERIOR ELEVATION SYMBOLS LEGEND

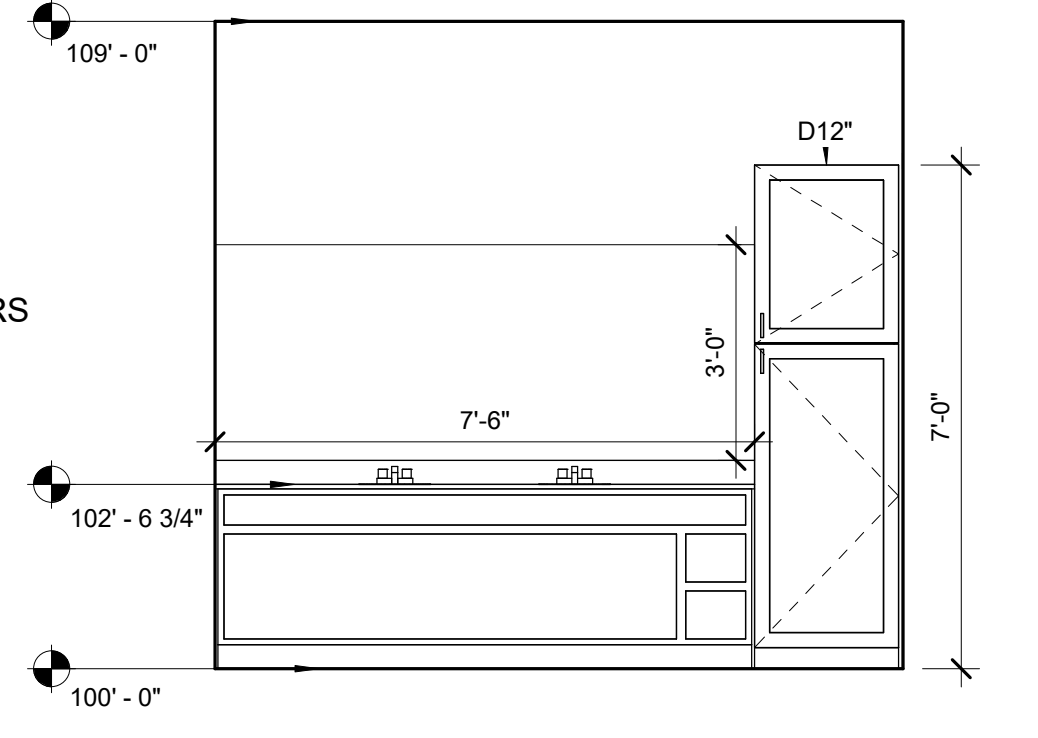
- ◯ CW GLAZED OPENING MARK
- ◁ P3 WALL ACCENT DESIGNATION



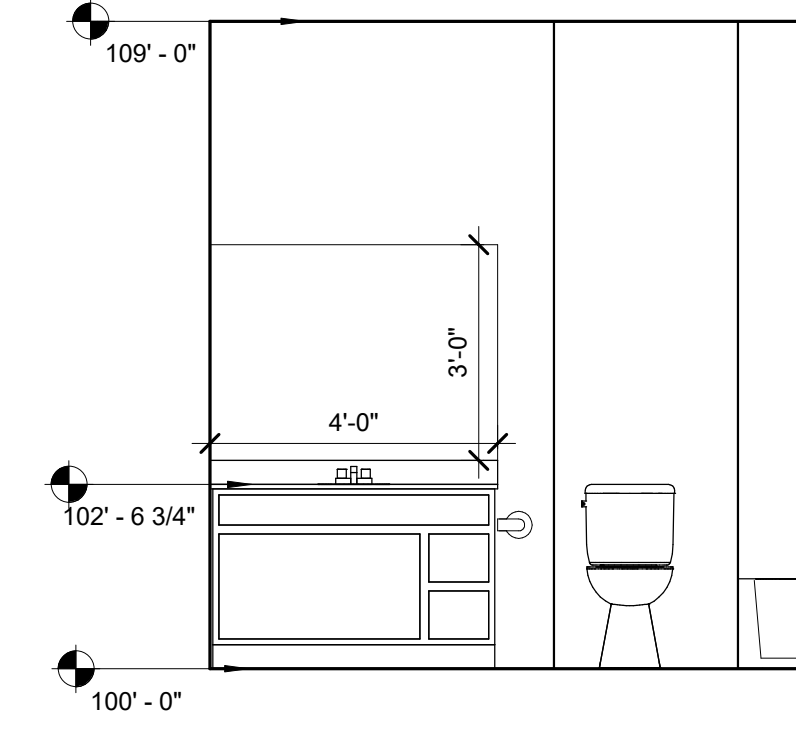
B2 UNIT C2 KITCHEN
3/8" = 1'-0"



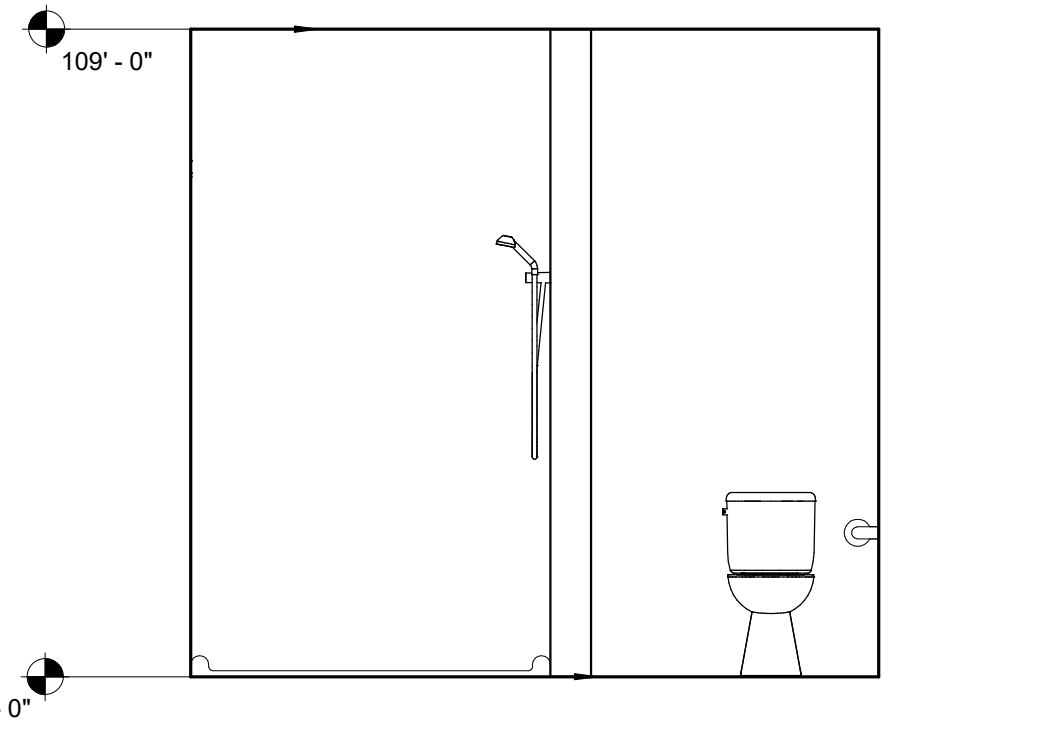
D2 UNIT C2 KITCHEN
3/8" = 1'-0"



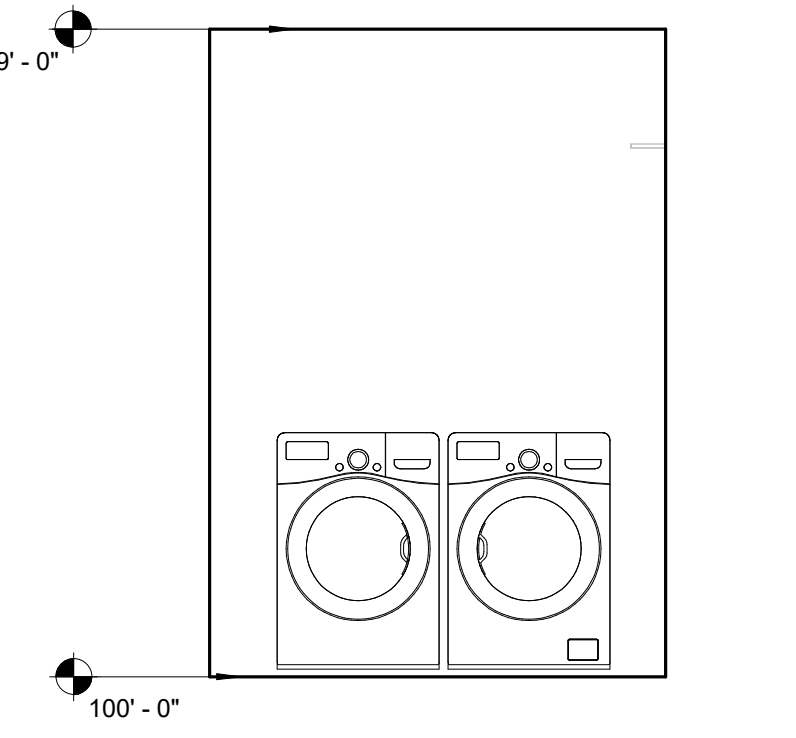
B3 UNIT C2 BATH
3/8" = 1'-0"



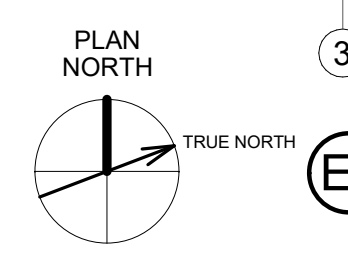
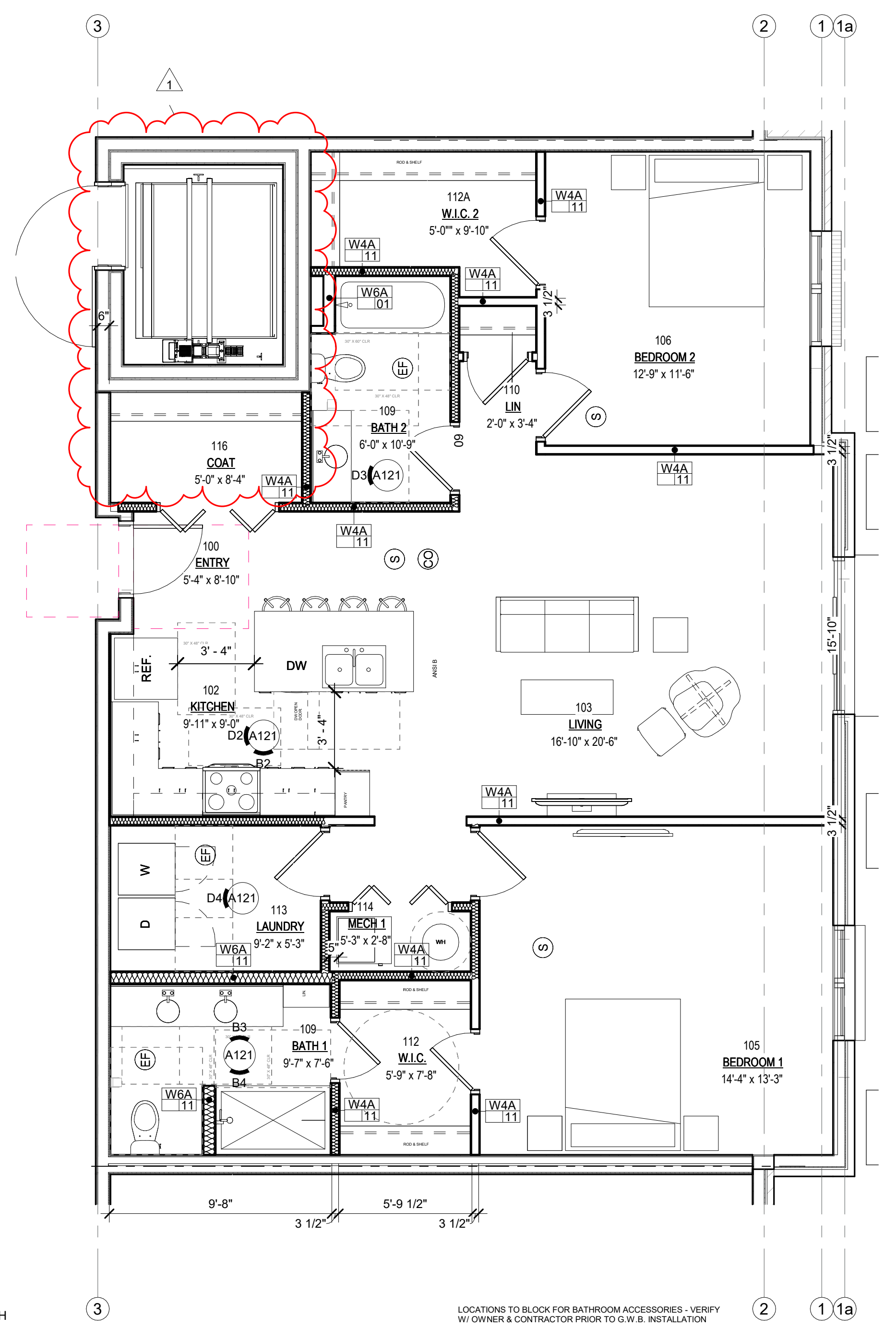
D3 UNIT C2 BATH
3/8" = 1'-0"



B4 UNIT C2 BATH
3/8" = 1'-0"



D4 UNIT C2 LAUNDRY
3/8" = 1'-0"



E4 UNIT TYPE - C2 - 2 BED
1/4" = 1'-0"

LOCATIONS TO BLOCK FOR BATHROOM ACCESSORIES - VERIFY W/ OWNER & CONTRACTOR PRIOR TO G.W.B. INSTALLATION

NO. >	ISSUED FOR >	DATE >
1	Conveying Equipment	02/09/2022

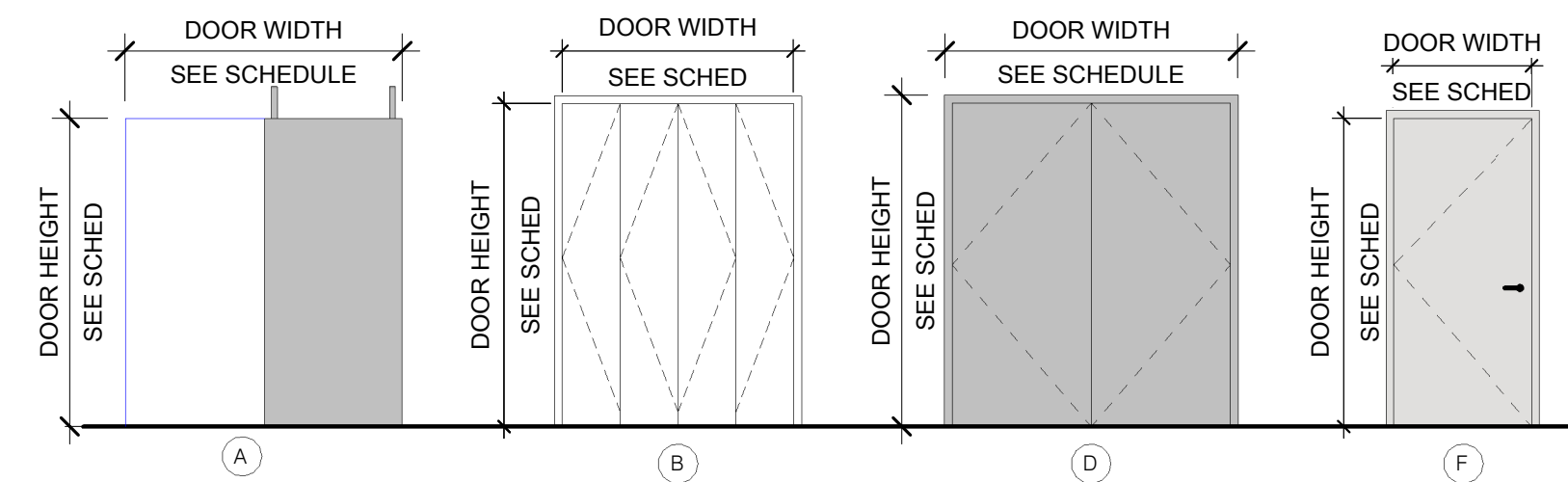


DOOR & FRAME SCHEDULE - UNITS

MARK	DOOR				FRAME			HARDWARE								REMARKS			
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	BUTTS	LOCK	DEADBOLT	SPRING	VIEWER	FLOOR STOP	WALL STOP		THRESHOLD	UL RATING	FIRE RATING (MINUTES)
02	3'-0"	7'-0"	1 3/4"	WD	PT/ST	A	MTL	PF	3									PRIVACY	
03	3'-0"	7'-0"	1 3/4"	WD	PT/ST	D	WD	PT/ST	6									SLIDING BARN	
04	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										DOUBLE FLUSH
05	5'-0"	7'-0"	1 3/4"	WD	N/A	D	WD	PT/ST	6										
06	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										DOUBLE
07	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										
08	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3										X
09	2'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3									PRIVACY	X
10	5'-0"	7'-0"	1 3/4"	WD	PT/ST	B	WD	PT/ST	6									BI-FOLD	
11	4'-2"	7'-0"	1 3/4"	WD	PT/ST	B	WD	PT/ST	6									BI-FOLD	
12	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3									PRIVACY	
13	2'-6"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3									PRIVACY	
14	2'-0"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3									PRIVACY	
15	1'-10"	7'-0"	1 3/4"	WD	PT/ST	F	WD	PT/ST	3									PRIVACY	

NOTES:
DOOR HARDWARE TO BE PUSH TYPE OR LEVER TYPE AND MOUNTED AT 48" MINIMUM
PROVIDE SMOKE GASKET ON DOORS WITH FIRE RATING
PROVIDE WEATHER STRIPPING AND DRIP CAP ON EXTERIOR DOORS
VERIFY AND COORDINATE CARD READER DEVICES WITH OWNER
ALL GLASS IN DOORS TO BE TEMPERED

ABBREVIATIONS:
AL ALUMINUM
AN ANODIZED - COLOR SELECTED BY OWNER
CL CLAD (ALUMINUM - PREFINISHED)
FG FULL GLASS - MEDIUM STILE
FL FLUSH
HM HOLLOW METAL
PF PREFINISHED
PT PAINTED
ST STAINED
STL STEEL



NOTES:
1. IF WALL STOP NOT POSSIBLE, PROVIDE FLOOR STOP WHERE APPROPRIATE.
2. ALL INTERIOR DOORS TO BE "MASONITE CROWN SERIES" OR EQUAL.
3. ALL INTERIOR DOOR HARDWARE TO BE SCHLAGE "A" SERIES LEVERS OR EQUAL.
4. PROVIDE CLOSERS AT ALL UNIT ENTRY DOORS. (TYPICAL DOOR #1)
5. PROVIDE "KWIK" TRANSFER GRILL ABOVE DOOR AT LAUNDRY ROOM AND MECHANICAL ROOM

UNIT ROOM FINISH SCHEDULE

NO.	ROOM DESIGNATION	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST		
100	ENTRY		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
101	PANTRY		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
102	KITCHEN		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
103	LIVING ROOM		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
104	LIVING/SLEEPING		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
105	BEDROOM 1		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
106	BEDROOM 2		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
107	BEDROOM 3		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
108	BATHROOM 1		TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
109	BATHROOM 2		TILE	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
110	LINEN		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
111	CLOSET		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112	W.I.C.		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
112A	W.I.C. 2		CARPET	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
113	LAUNDRY		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
114	MECHANICAL		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
115	HALLWAY		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	
116	COAT		LVT	WD-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	G.W.B.-PT	

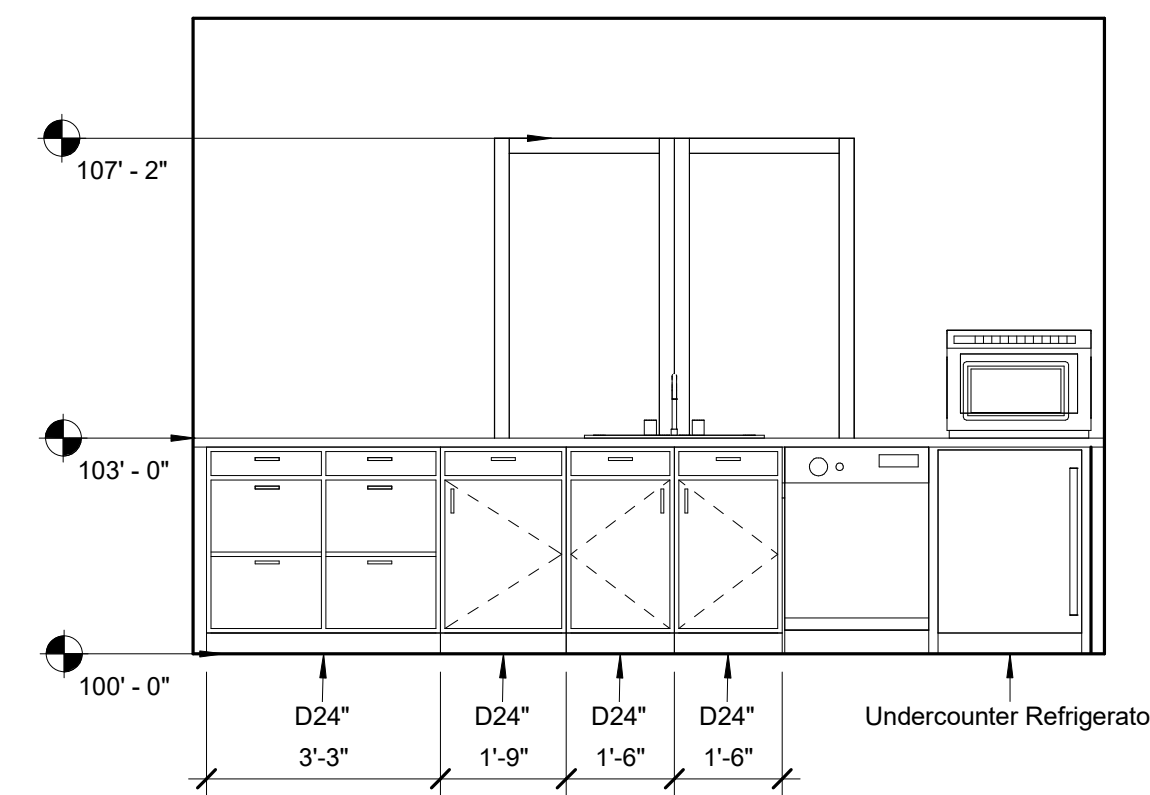
- NOTES:
- FOR CEILING HEIGHTS SEE SECTIONS A3.10-A3.22
 - PREFORMED LAMINATE COUNTERTOPS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
 - MOEN BRANTFORD CHROME BATH ACCESSORIES - 1 EACH CHROME:
24" TOWEL BAR, HOOK, TOILET PAPER HOLDER, SHOWER ROD ON TUB - NO CURTAIN
 - NOT USED
 - SEE FINISH SCHEDULE (A4.01) FOR ALL FLOORING REQUIREMENTS
 - NOT USED
 - MMILLWORK TO BE:
5-1/2" TALL BASE IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
2-1/4" TALL CASING IN HALLWAYS & UNITS - SEE FINISH SCHEDULE (A4.01) FOR COLOR
 - WHITE WIRE SHELVES IN ALL CLOSETS, LAUNDRY, & LINEN
 - CEILINGS TO BE 25% WALL COLOR W/ SLAP TEXTURE FINISH
 - WALLS TO BE PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
 - CABINETS TO BE GRANDVIEW, BIRCH, SOUTHLINE SHAKER DOOR STYLE W/ STANDARD DRAWERS
 - DOOR HARDWARE: "KWIKSET TUSTIN SERIES" OR EQUAL
 - UNIT ENTRY DOORS: "MASONITE HOLISTER 2-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR
 - INTERIOR DOORS: "MASONITE RIVERSIDE 5-PANEL"
PRIMED & PAINTED - SEE FINISH SCHEDULE (A4.01) FOR COLOR

NOTES >

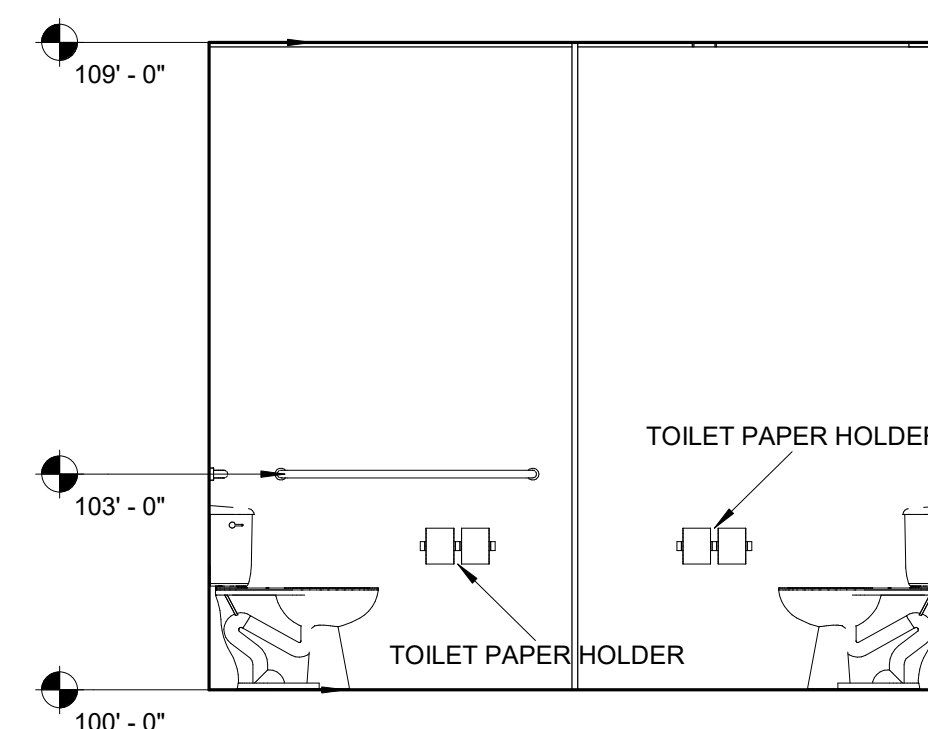
- ADD FILLERS @ ALL CORNER CABINETS & CABINETS ABUTTING END WALLS AS REQUIRED. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS BEFORE ORDERING CABINETS.
- ADD END PANELS @ ALL EXPOSED DISHWASHERS. PROVIDE BLOCKING FOR GRAB BARS IN ALL ANSI UNITS AT TOILETS, TUBS AND SHOWERS, TYP.
- PAINT "PI" ON ALL UNIT WALLS.
- ALL FLOORING TRANSITIONS TO BE AT MIDDLE POINT OF OPENING OR UNDER DOOR.
- BOTTOM OF ALL MEDICINE CABINETS TO BE MOUNTED @ 40" A.F.F.

INTERIOR ELEVATION SYMBOLS LEGEND

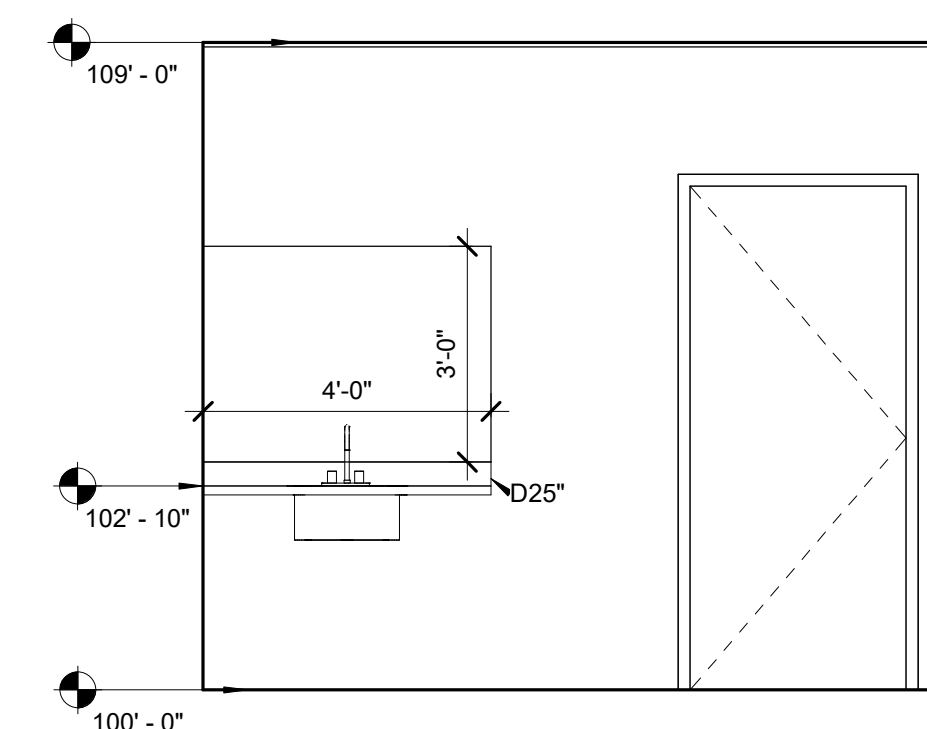
- CW GLAZED OPENING MARK
- P3 WALL ACCENT DESIGNATION



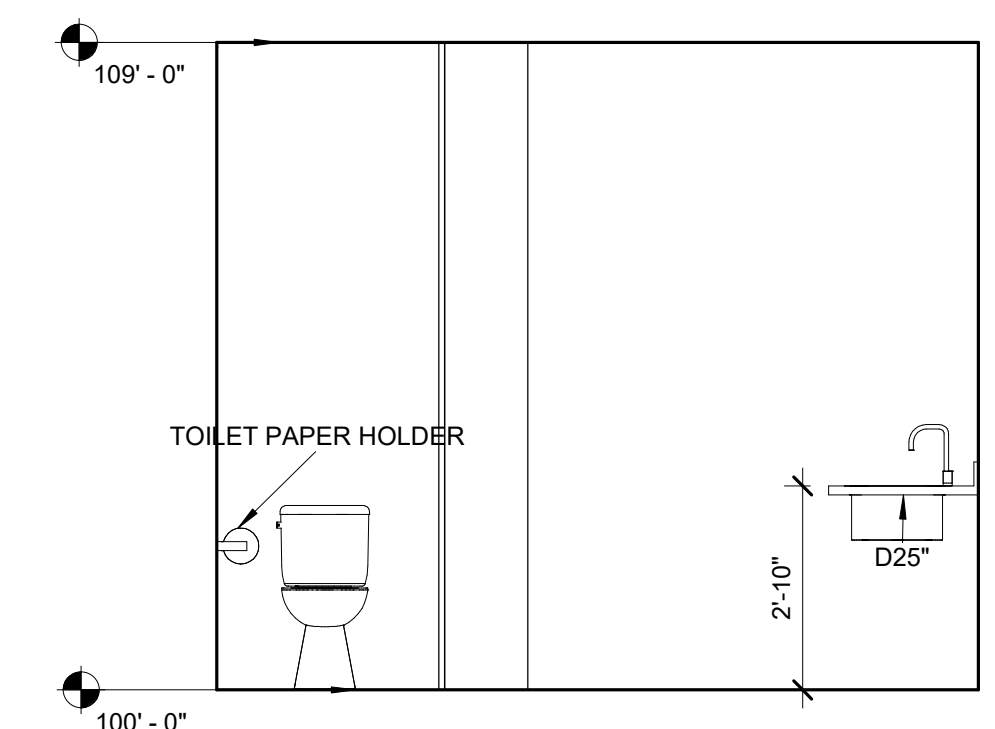
B2 AMENITIES SERVING AREA
3/8" = 1'-0"



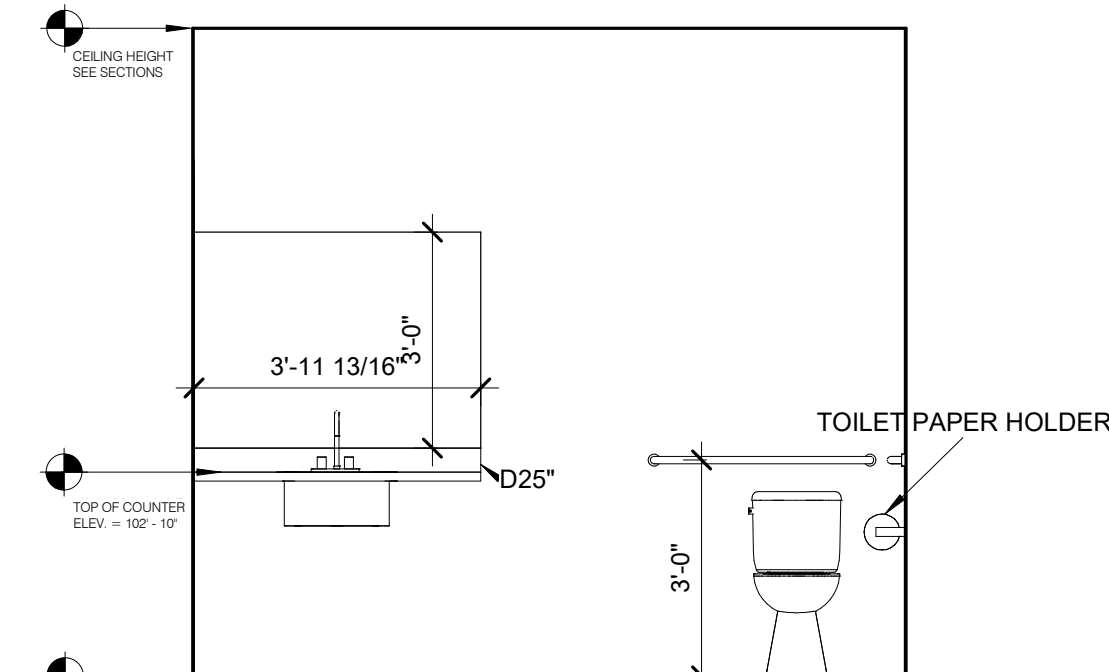
D2 AMENITIES WOMEN RR
3/8" = 1'-0"



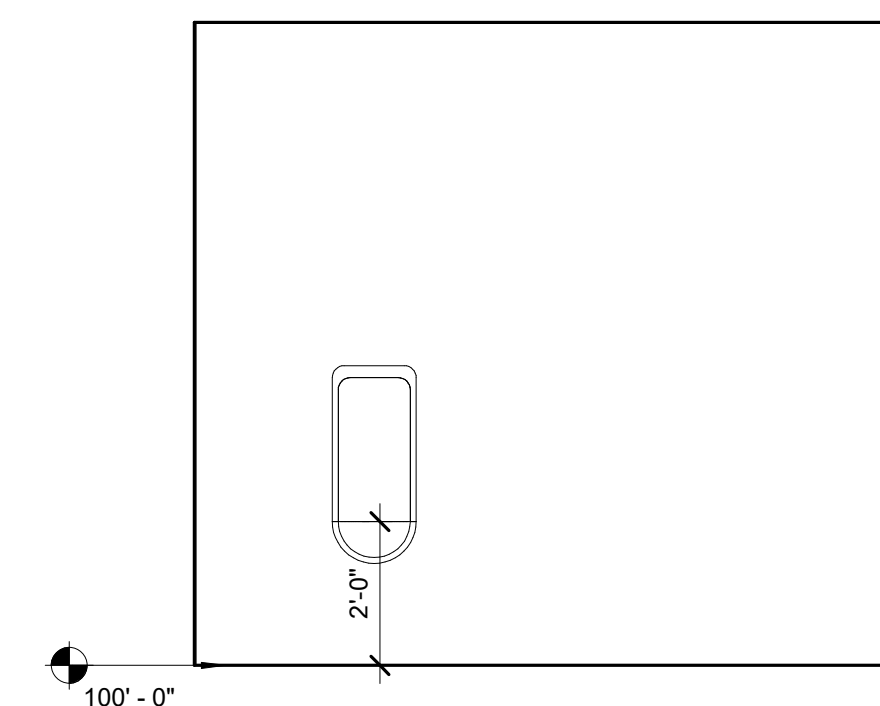
E2 AMENITIES WOMEN RR
3/8" = 1'-0"



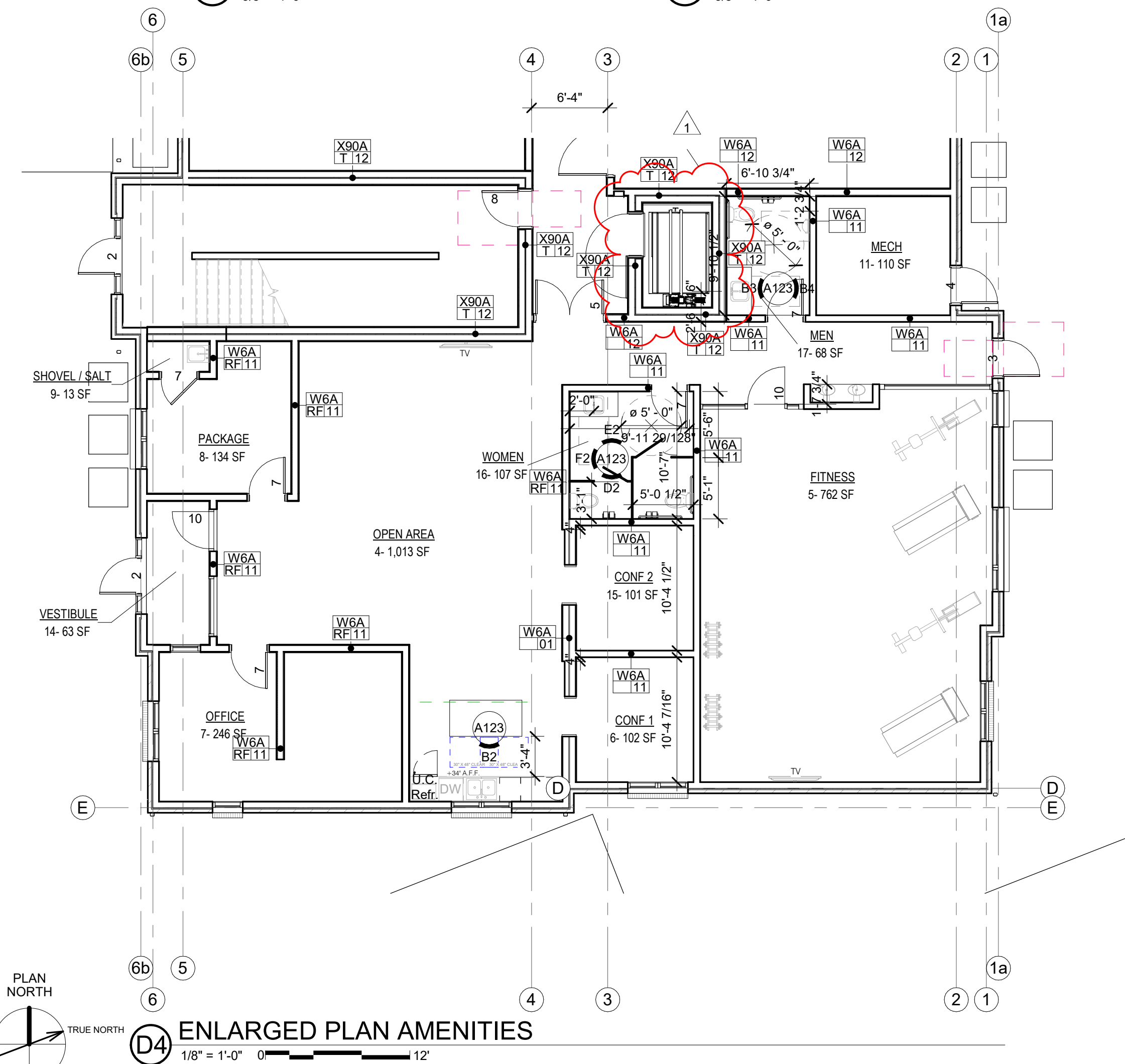
F2 AMENITIES WOMEN RR
3/8" = 1'-0"



B3 AMENITIES MEN RESTROOM
3/8" = 1'-0"



B4 AMENITIES MEN RESTROOM
3/8" = 1'-0"



D4 ENLARGED PLAN AMENITIES
1/8" = 1'-0"

#	KEYNOTE
A01	THIN STONE VENEER
A02	FULL COURSE BRICK
A03	6" REVEAL VINYL SIDING - DARK
A04	6" REVEAL VINYL SIDING - LIGHT
A05	ASPHALT SHINGLE SYSTEM
A10	6" TALL WOOD SCREENING FENCE
A11	CBU MAILBOX (CLUSTER BOX UNIT) ON PEDESTAL; (16) TENANT DOORS AND (2) PARCEL LOCKERS; BASIS OF DESIGN: FLORENCE CORPORATION VITAL 1570-16

#	KEYNOTE
A15	VINYL WINDOW; BASIS OF DESIGN: GERKIN
A16	3 1/2" LINEAL WINDOW TRIM AT VINYL, TYP.
A17	MASONRY SOLDIER COURSE HEADER, TYP.
A18	MASONRY ROWLOCK COURSE SILL, TYP.
A19	PRECAST STONE CAP, TYP.
A20	PRECAST STONE SILL, TYP.
A23	8" BAND TRIM; MATCH DARK VINYL
A24	8" BAND TRIM; MATCH LIGHT VINYL

EXTERIOR ELEVATION SYMBOLS LEGEND
 CW GLAZED OPENING MARK

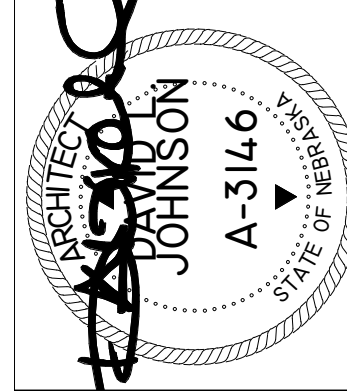


A3 EAST ELEVATION - NORTH END
 1/8" = 1'-0"



A4 EAST ELEVATION - SOUTH END
 1/8" = 1'-0"

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Quantum Wolf Creek 2 Apartments
 110 Plex
 ELEVATIONS

NO.	ISSUED FOR	DATE

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KEYNOTE LEGEND	
#	KEYNOTE

EXTERIOR ELEVATION SYMBOLS LEGEND	
	GLAZED OPENING MARK

A3 WEST ELEVATION - SOUTH END
1/8" = 1'-0"



A4 WEST ELEVATION - NORTH END
1/8" = 1'-0"

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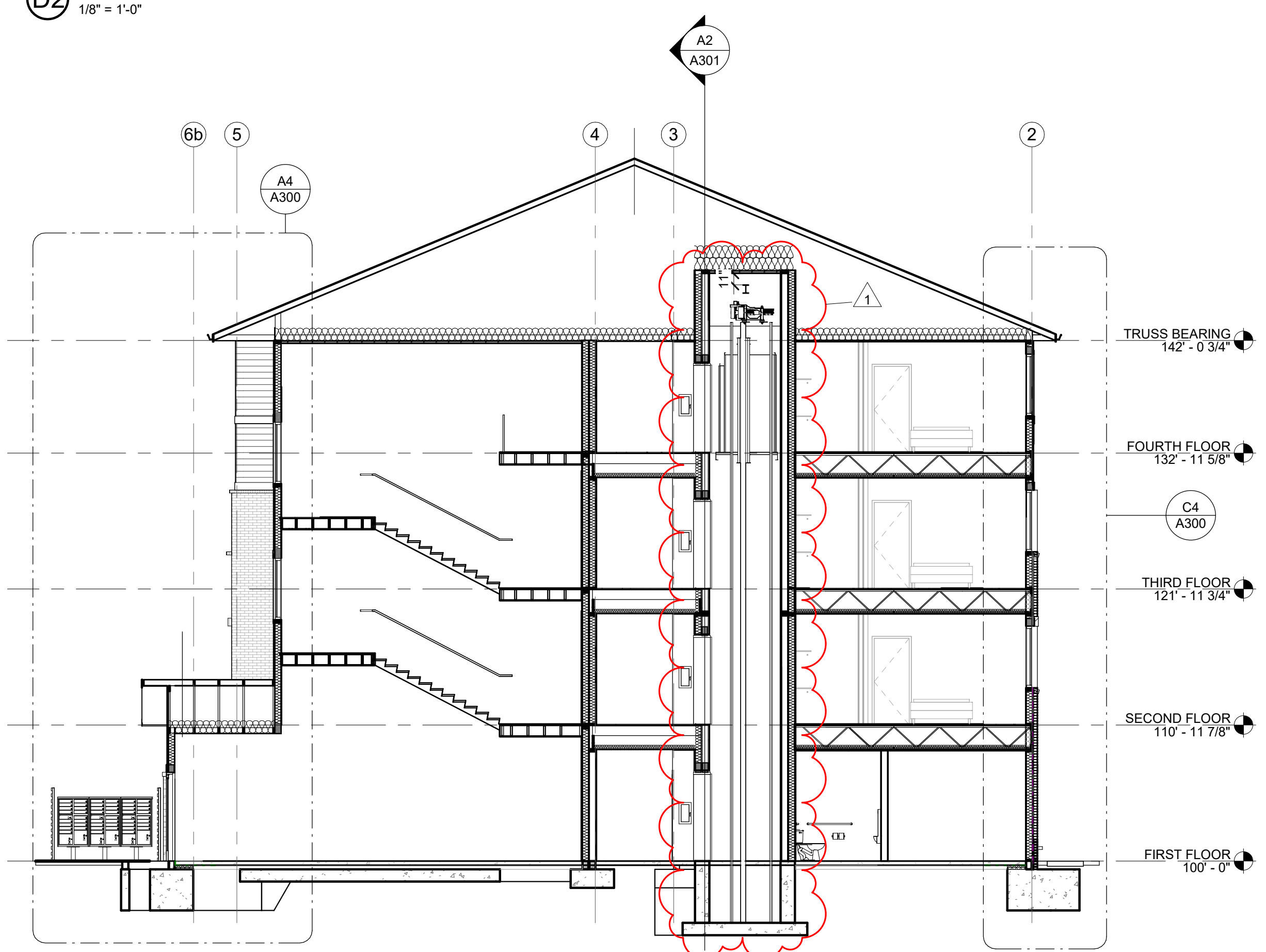
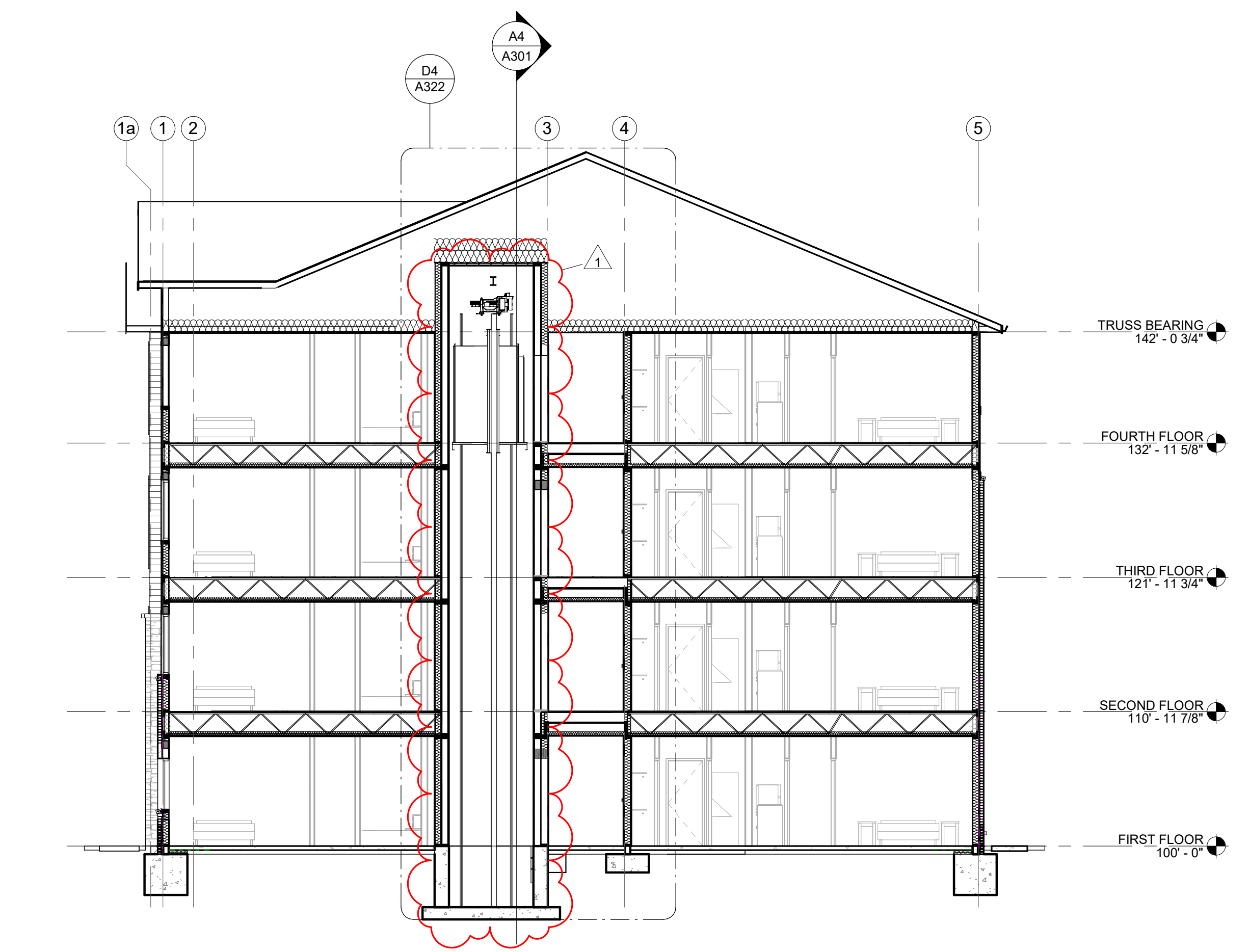
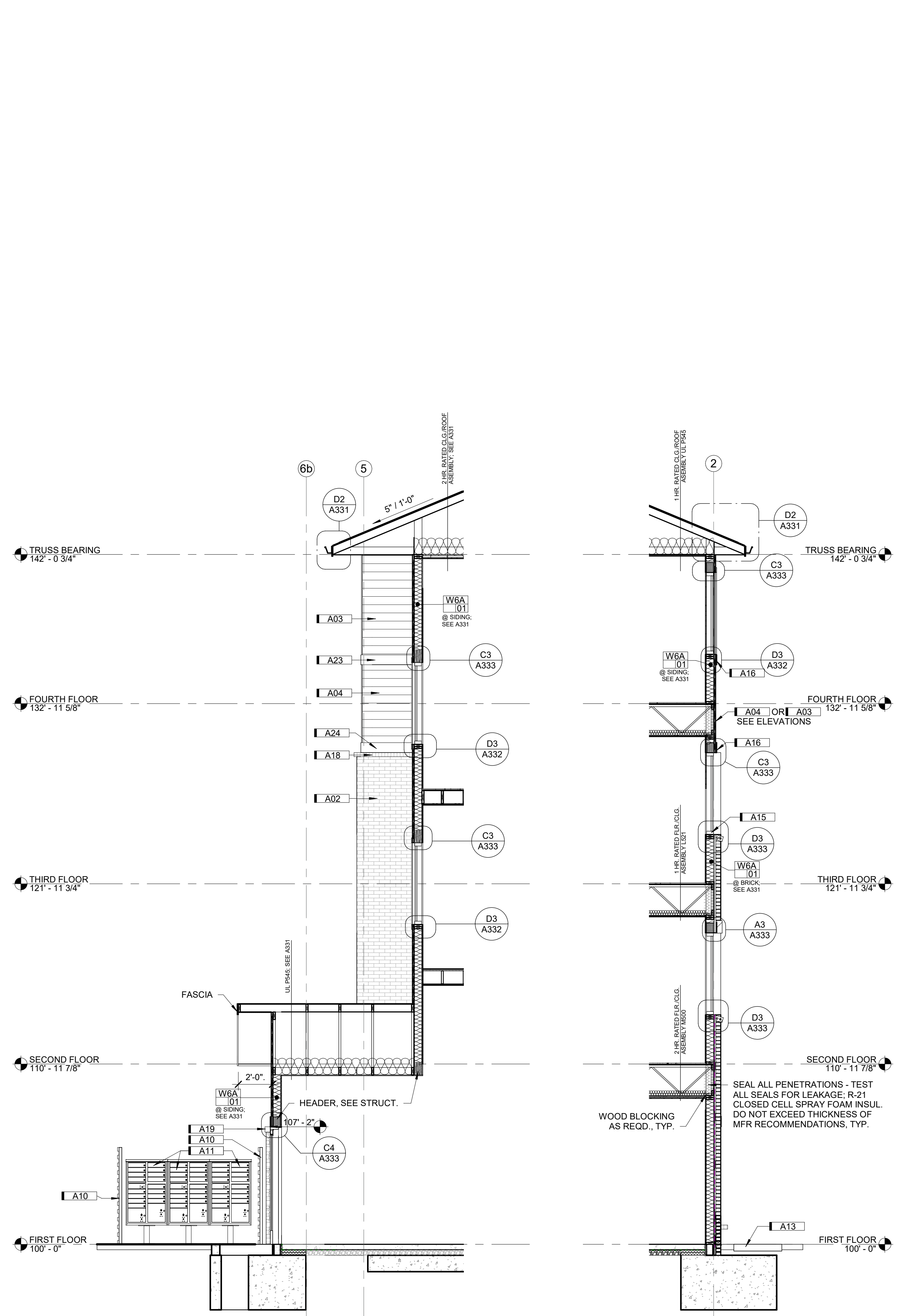
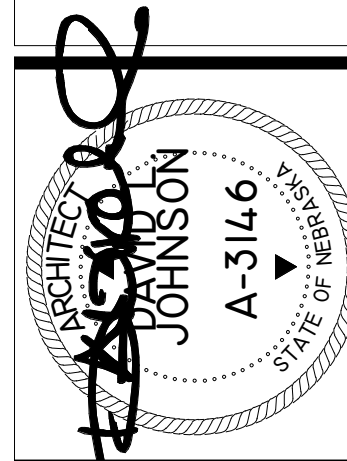
ARCHITECT
JOHNSON
A-3146
MEMBER OF
SITE OF

Quantum
Wolf Creek 2 Apartments
110 Plex
ELEVATIONS

NO.	ISSUED FOR	DATE

JOB NO. > 5201700
A201

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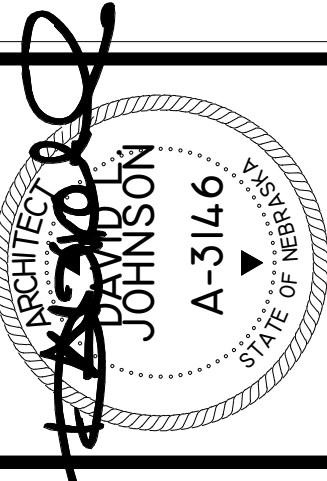


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Quantum
 Wolf Creek 2 Apartments
 110 Plex
 BUILDING AND WALL SECTION

NO.	ISSUED FOR	DATE
1	Conveying Equipment	02/09/2022

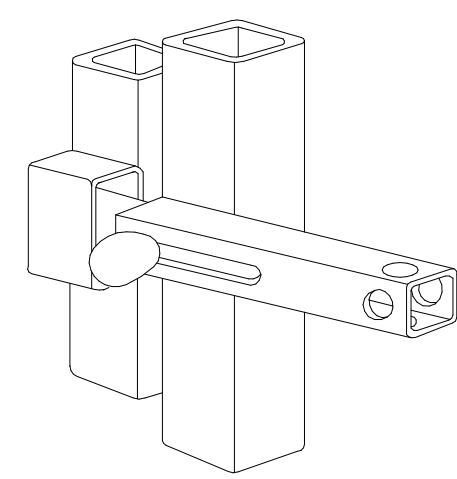
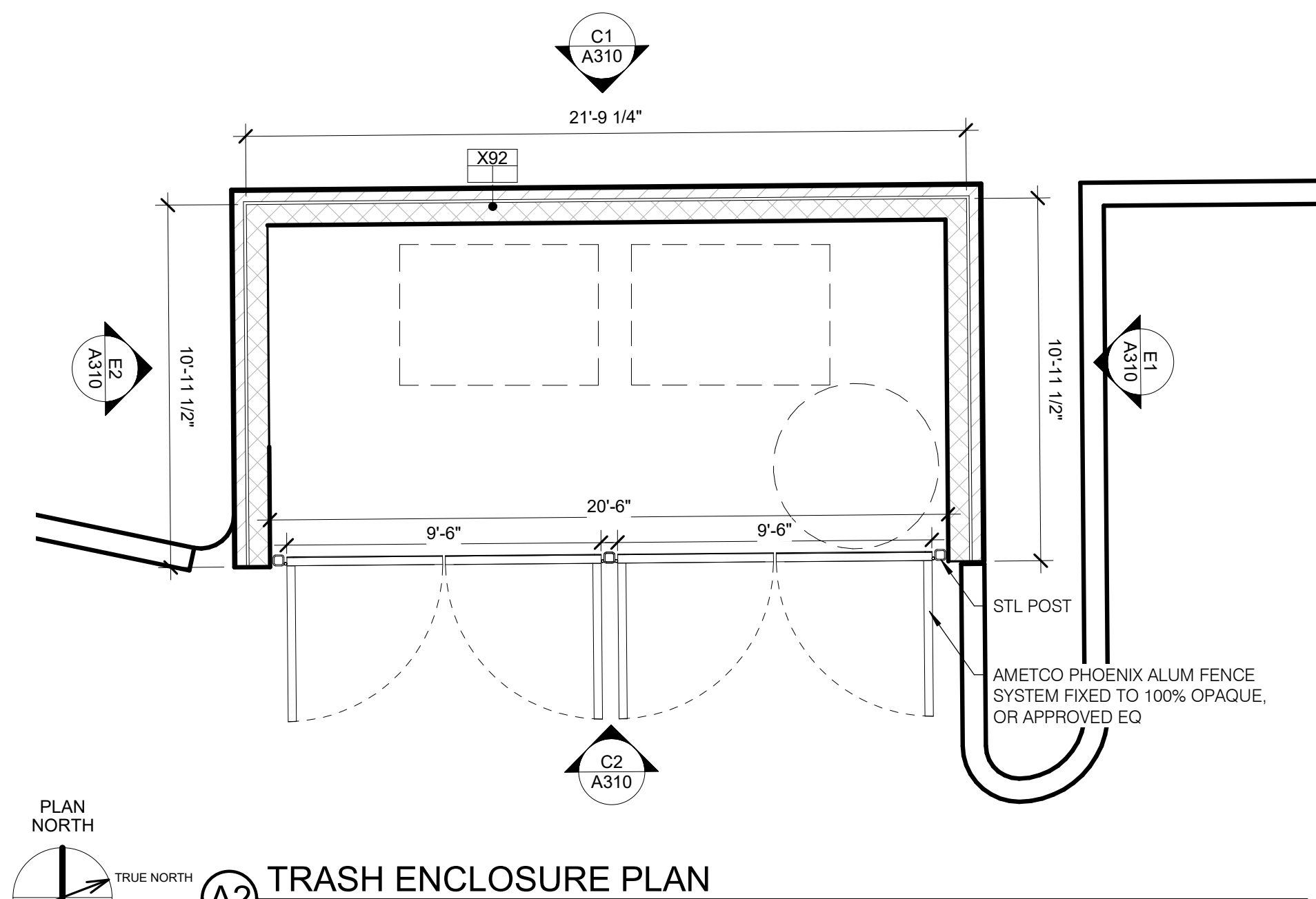
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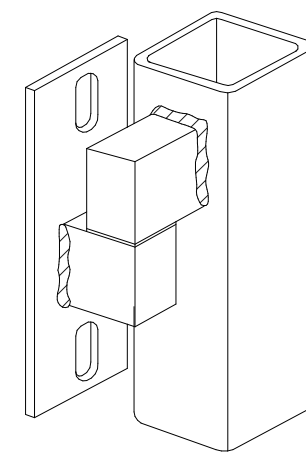
Quantum
Wolf Creek 2 Apartments
SOUTH GARAGE
SOUTH GARAGE SECTIONS AND TRASH ENCLOSURE

NO. > ISSUED FOR > DATE >

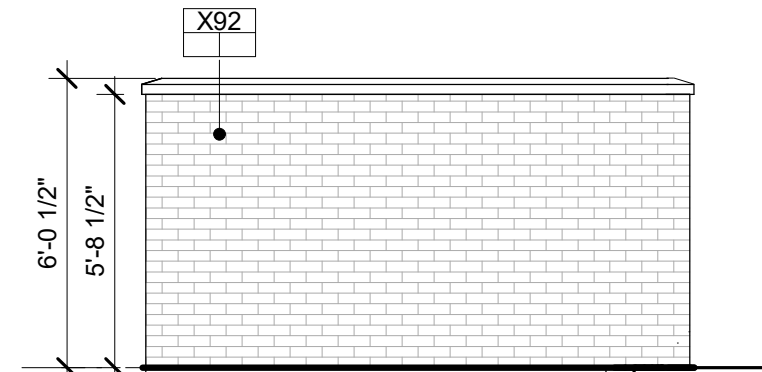
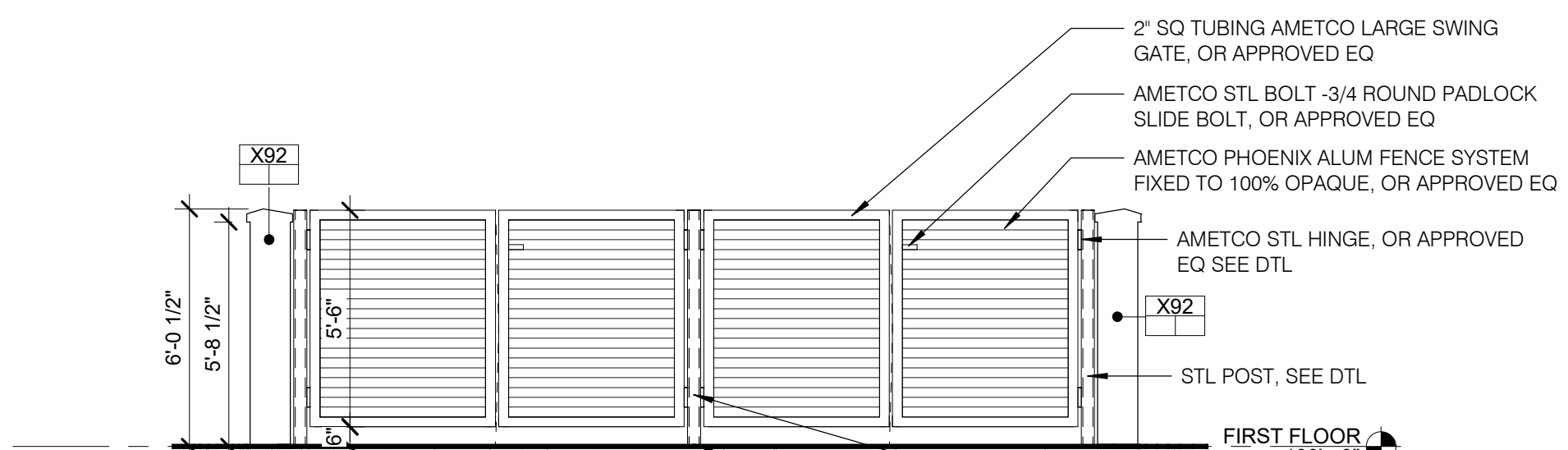
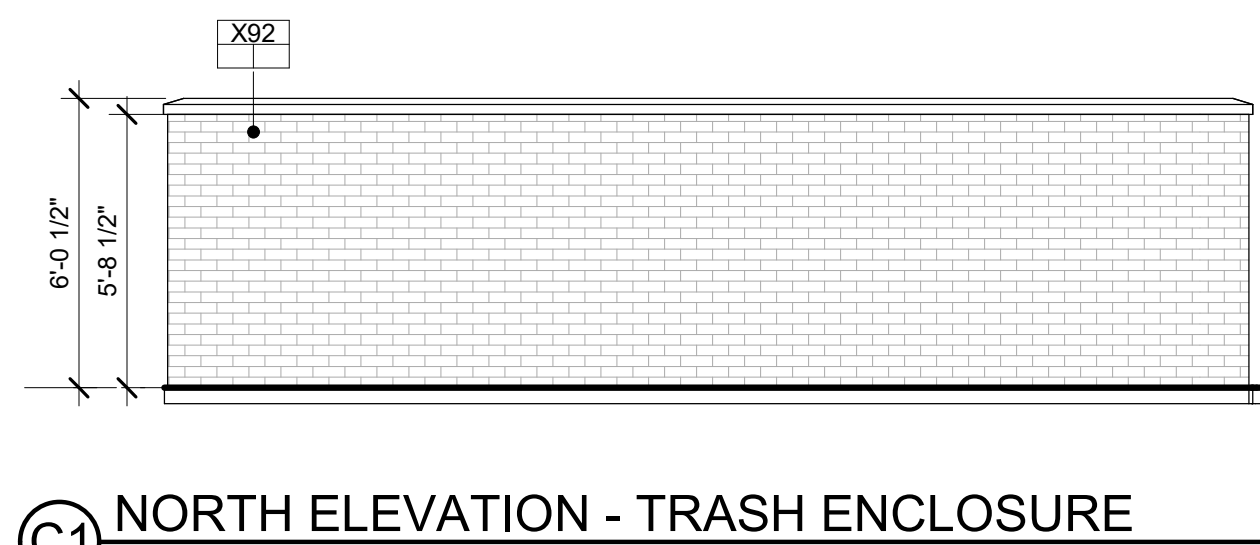
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A3 GATE STL BOLT - 3/4\"/>

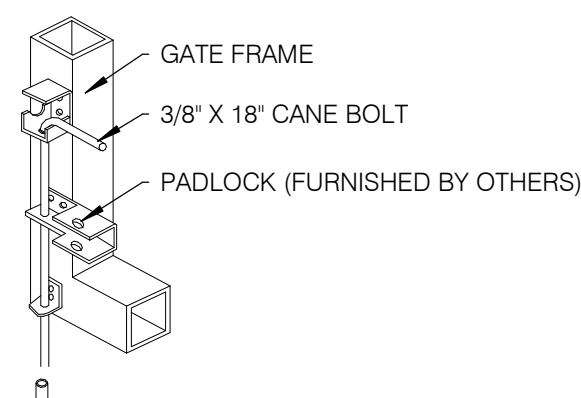


B3 GATE STL HINGE
NOT TO SCALE

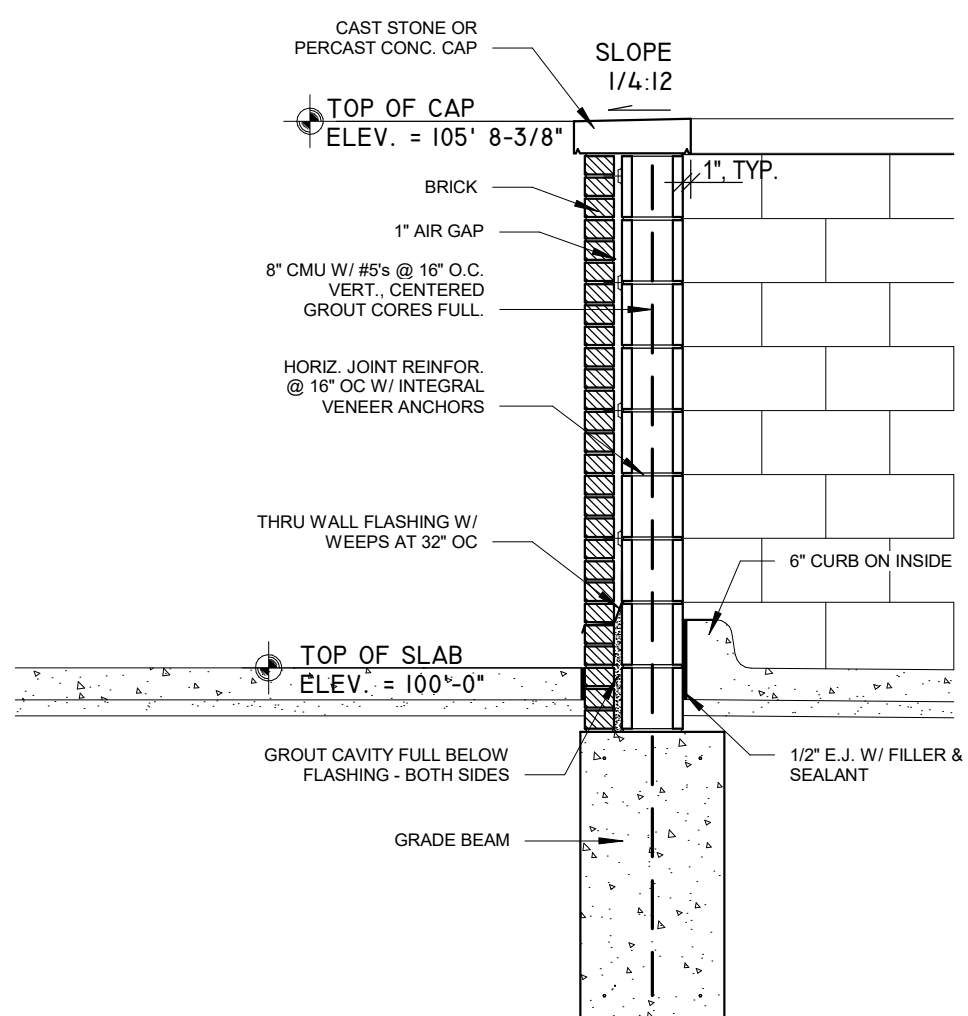
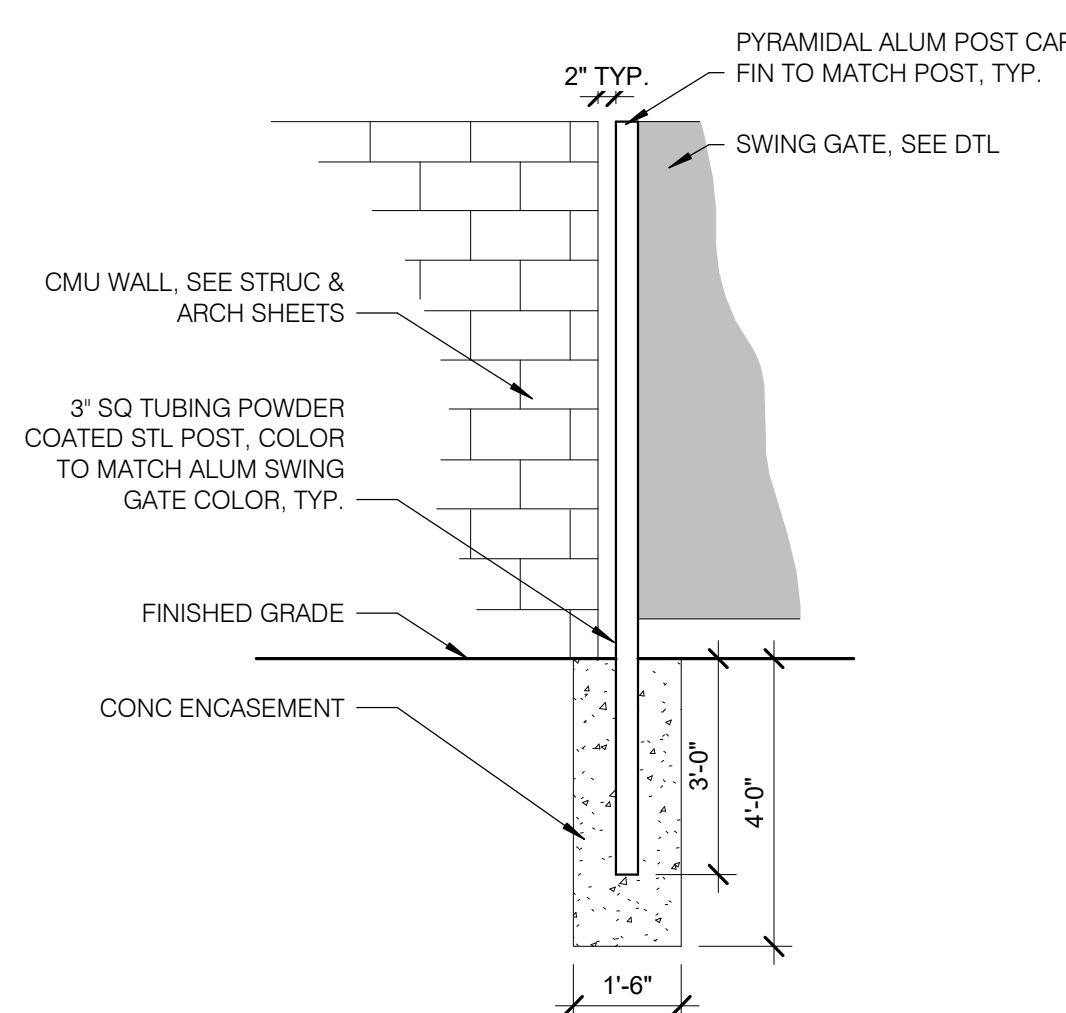
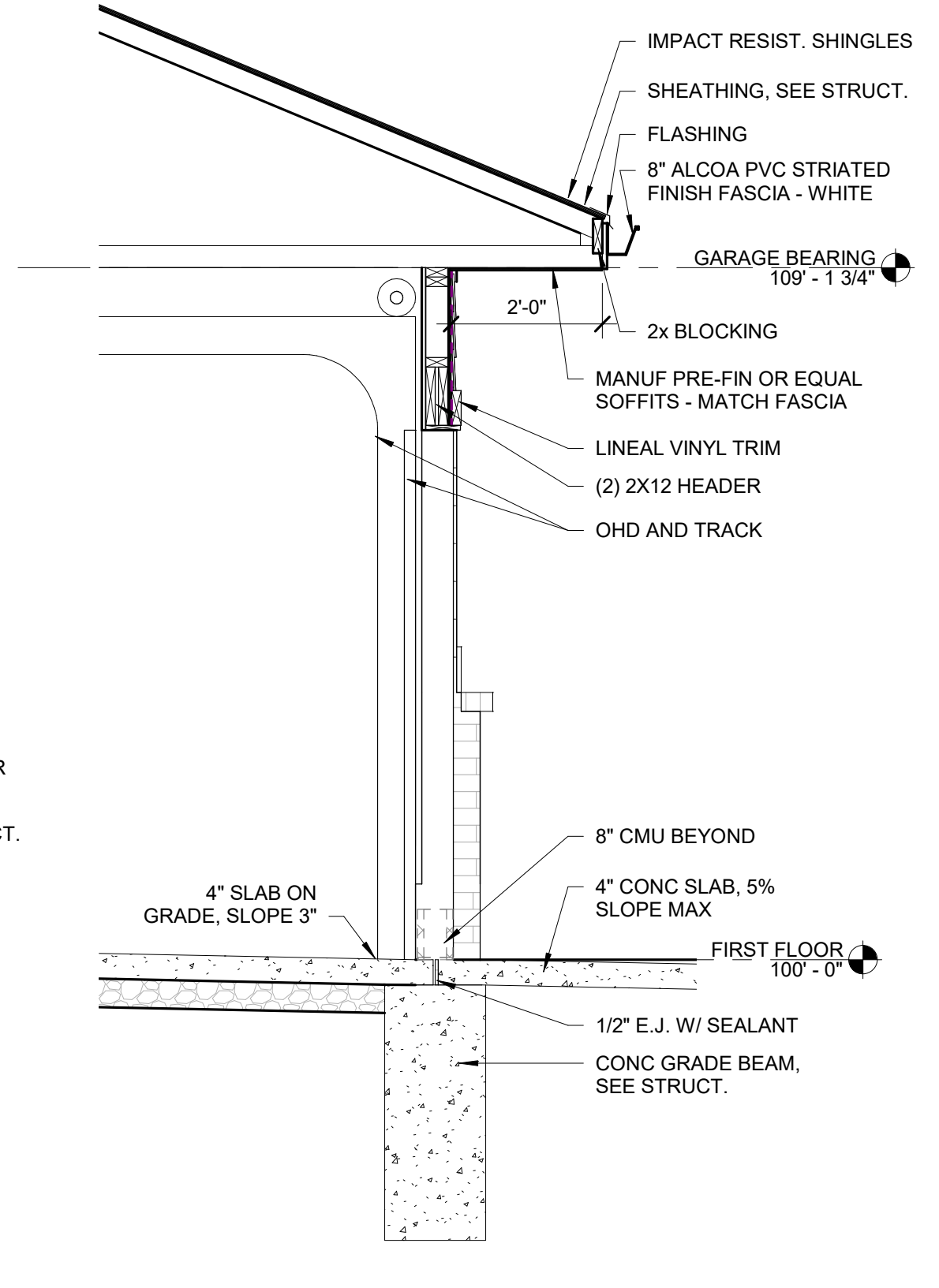
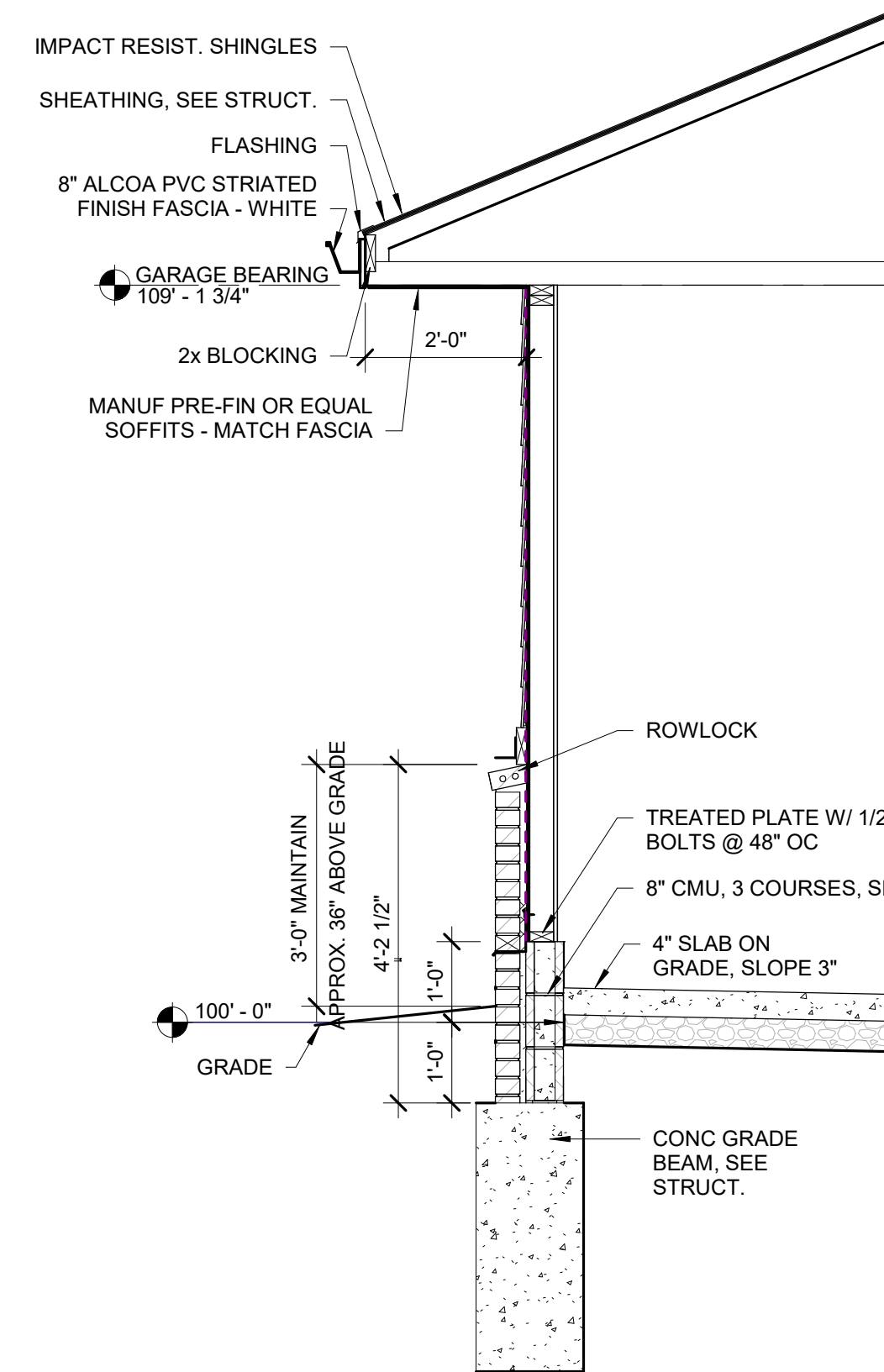


NOTES:
1. AMETCO POWDER COATED LARGE SWING GATE OR OWNER APPROVED EQ.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE W/MFR'S SPECS.
3. COLOR IS TO BE APPROVED BY OWNER REP OR LANDSCAPE ARCH PRIOR TO INSTALLATION.

C2 SOUTH ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"

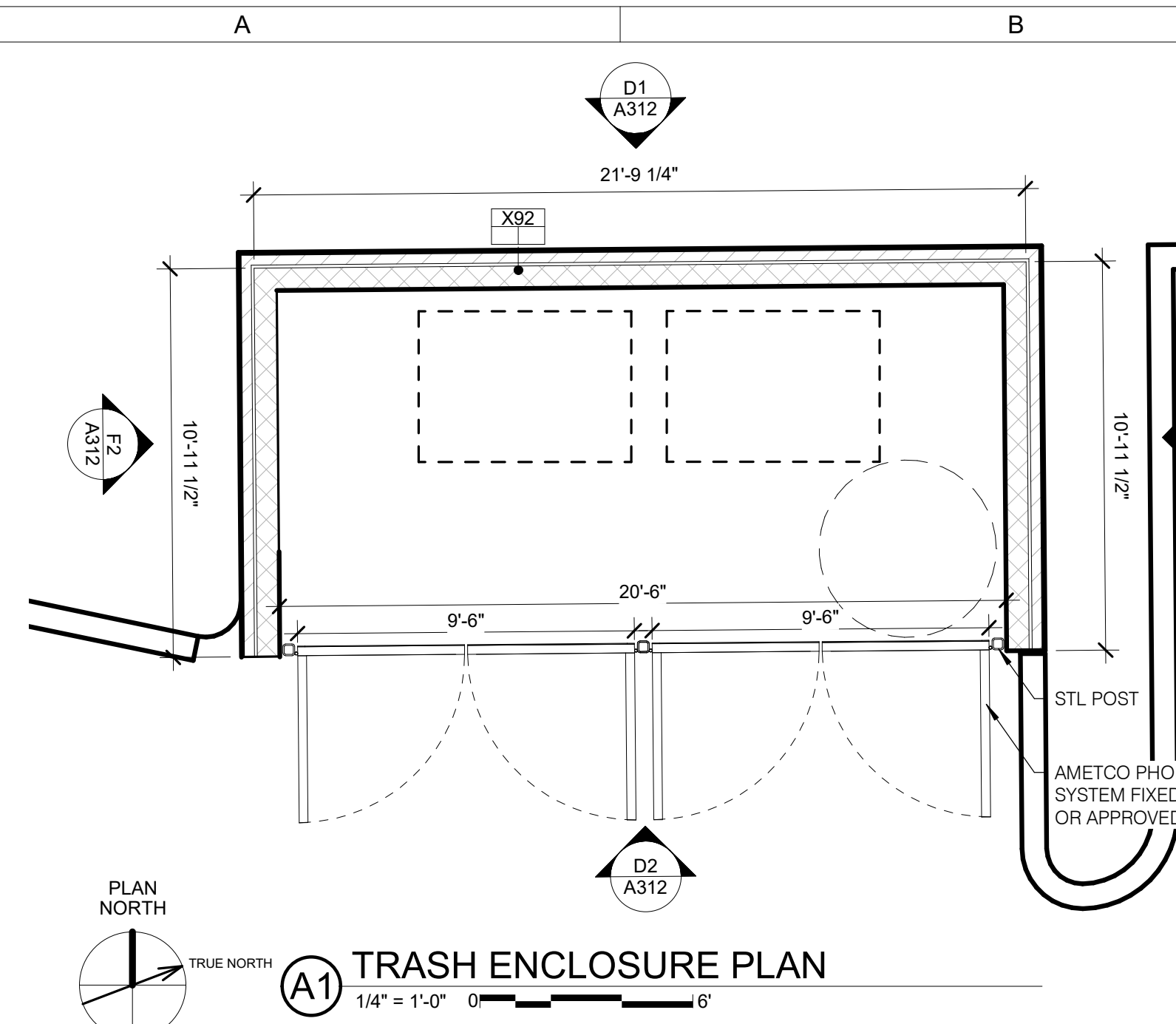
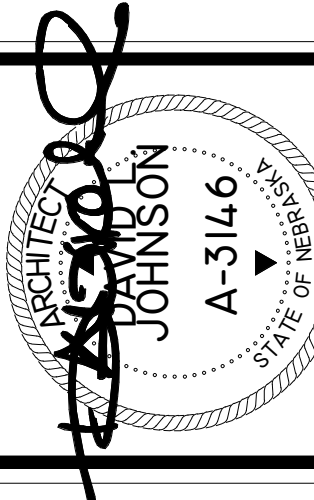


C3 GATE PADLOCKABLE CANE BOLT
NOT TO SCALE

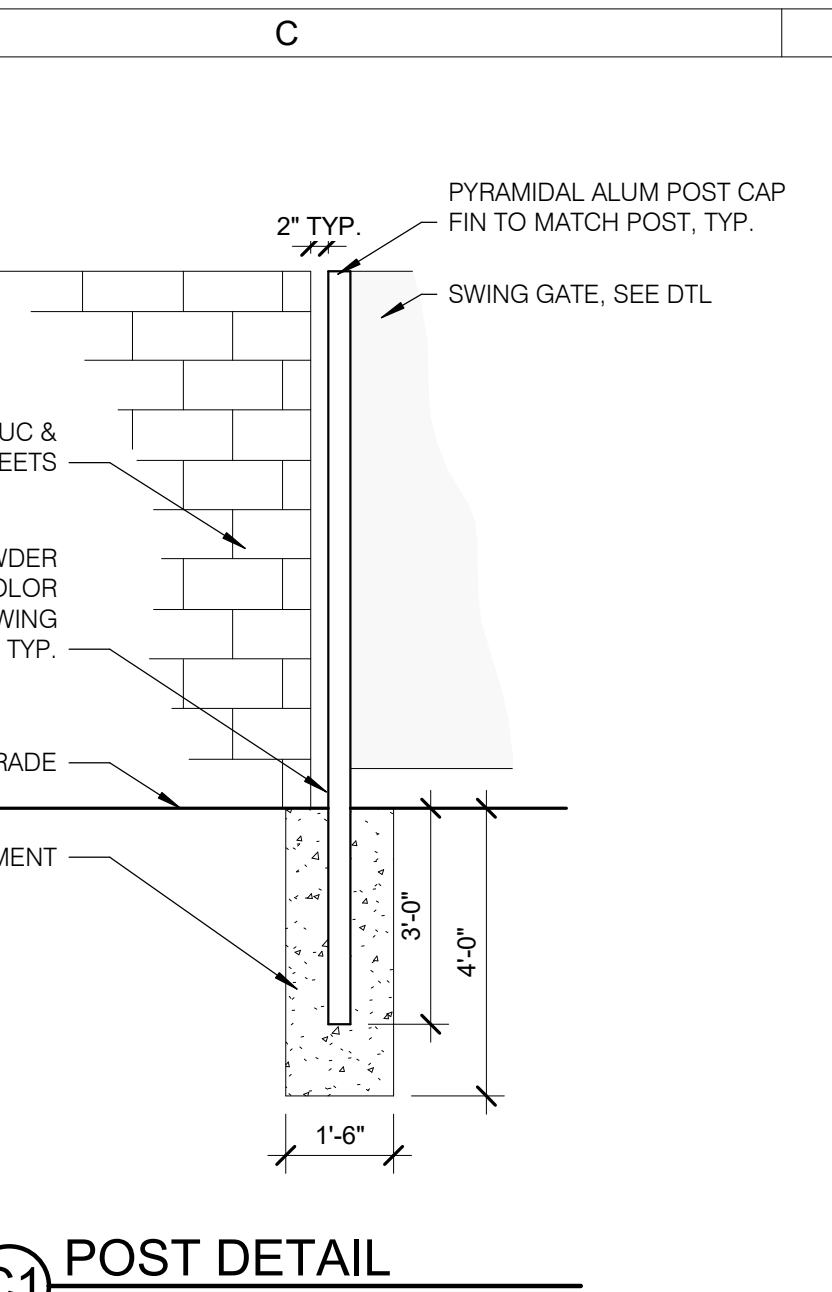


C4 TYP. SECTION @ DEMISING WALL
1/2" = 1'-0"

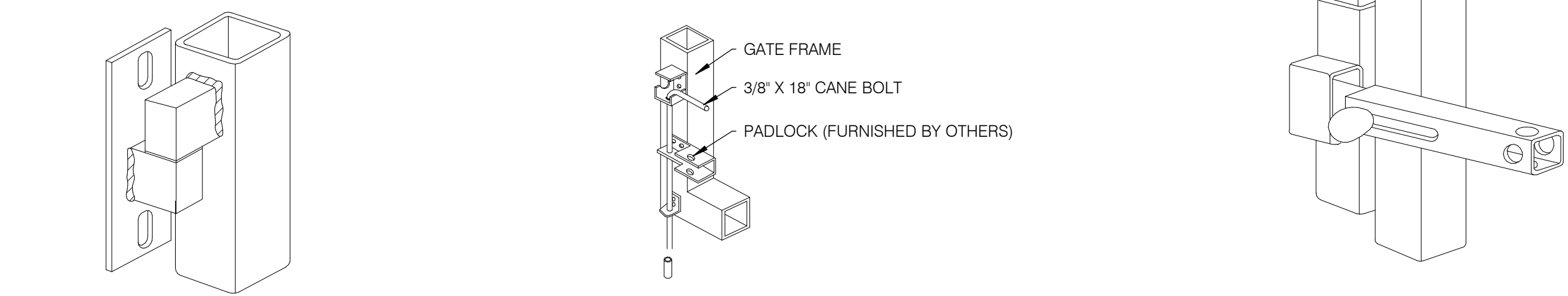
F4 SOUTH GARAGE - SECTION @ OHD
1/2" = 1'-0"



A1 TRASH ENCLOSURE PLAN
1/4" = 1'-0" 0" 6"



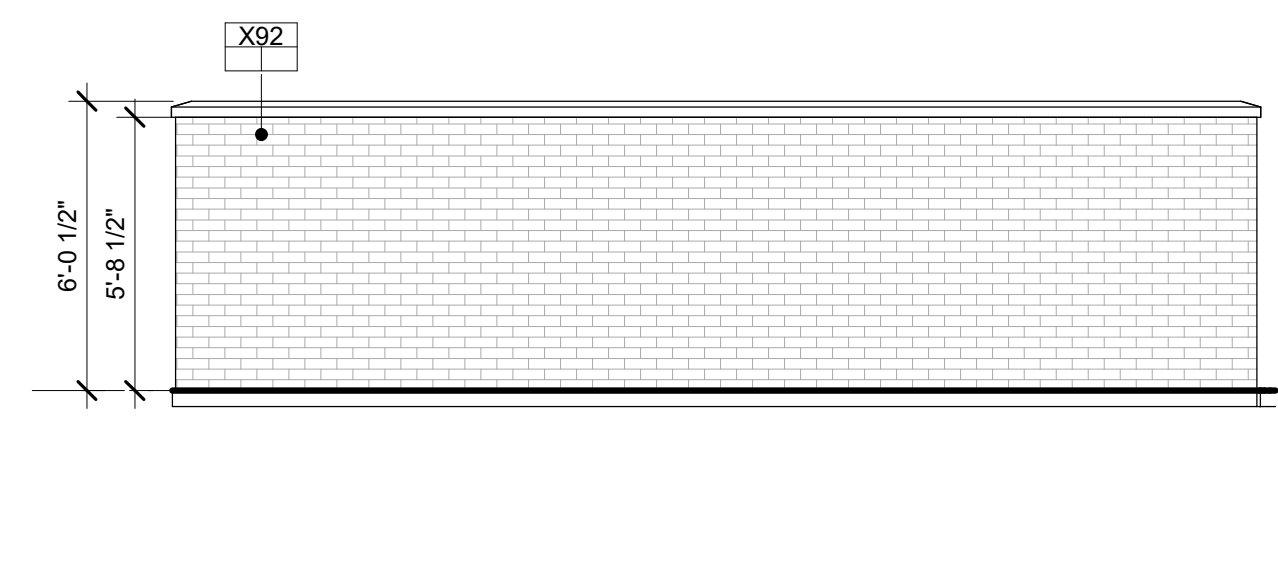
C1 POST DETAIL
3/8" = 1'-0"



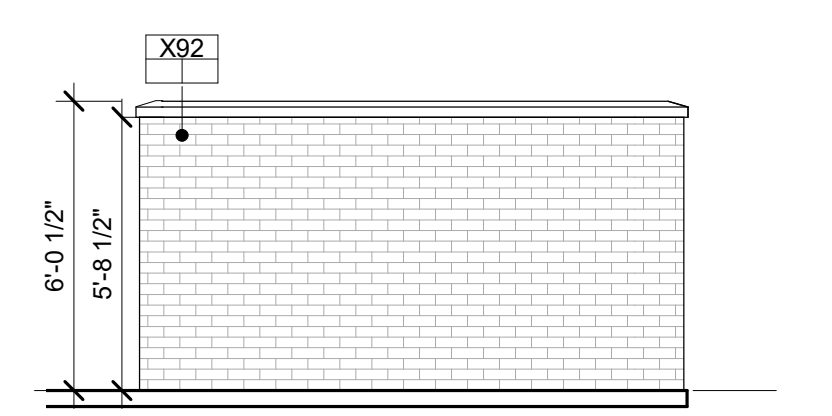
NOTES:
1. AMETCO POWDER COATED STL HINGE OR OWNER APPROVED EQ.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE W/MFRS SPECS.
3. COLOR IS TO BE APPROVED BY OWNER REP OR LANDSCAPE ARCH PRIOR TO INSTALLATION.

NOTES:
1. AMETCO POWDER COATED PADLOCKABLE CANE BOLT OR OWNER APPROVED EQ.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE W/MFRS SPECS.
3. COLOR IS TO BE APPROVED BY OWNER REP OR LANDSCAPE ARCH PRIOR TO INSTALLATION.

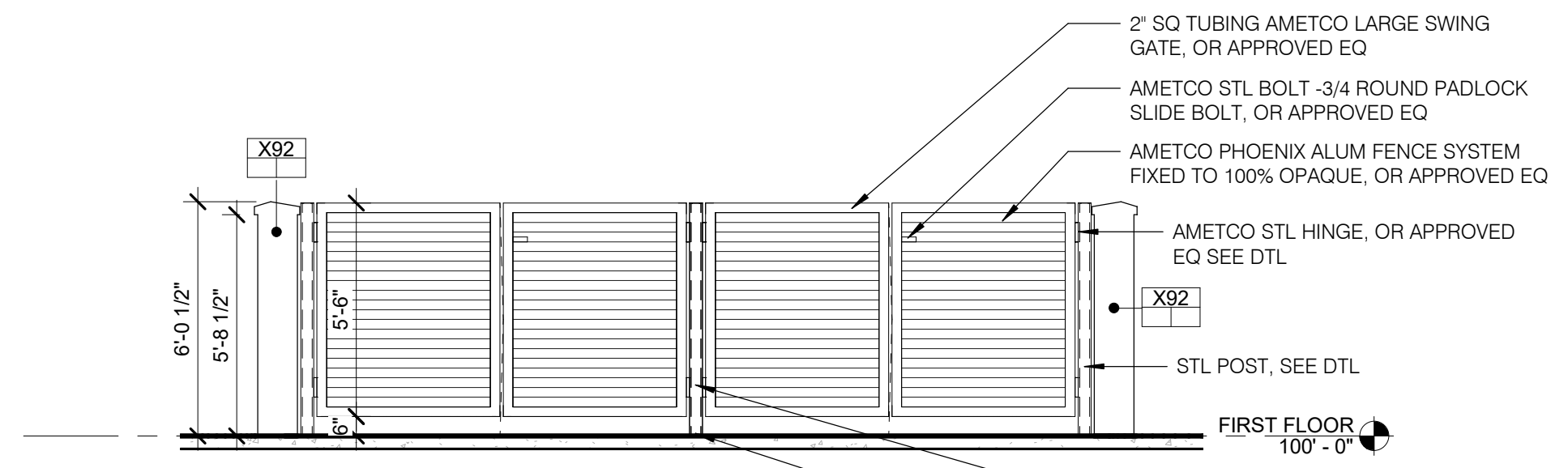
NOTES:
1. AMETCO POWDER COATED STL BOLT - 3/4" ROUND PADLOCK OR OWNER APPROVED EQ.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE W/MFRS SPECS.
3. COLOR IS TO BE APPROVED BY OWNER REP OR LANDSCAPE ARCH PRIOR TO INSTALLATION.



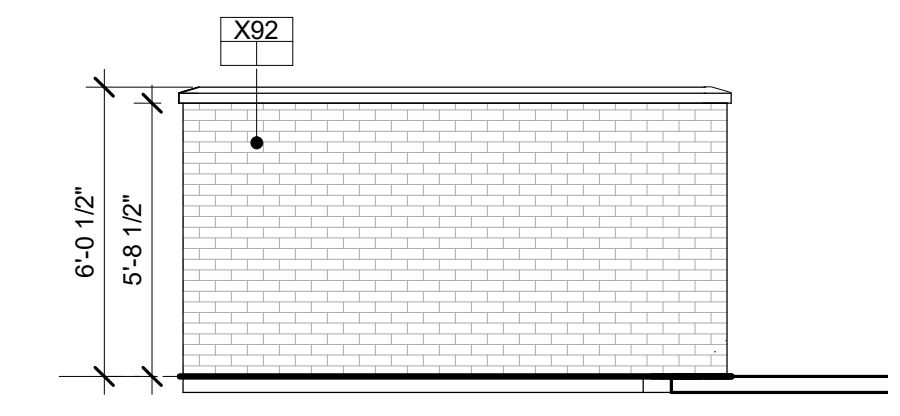
D1 NORTH ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"



F1 EAST ELEV. - TRASH ENCLOSURE
1/4" = 1'-0"



D2 SOUTH ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"



F2 WEST ELEV. - TRASH ENCLOSURE
1/4" = 1'-0"

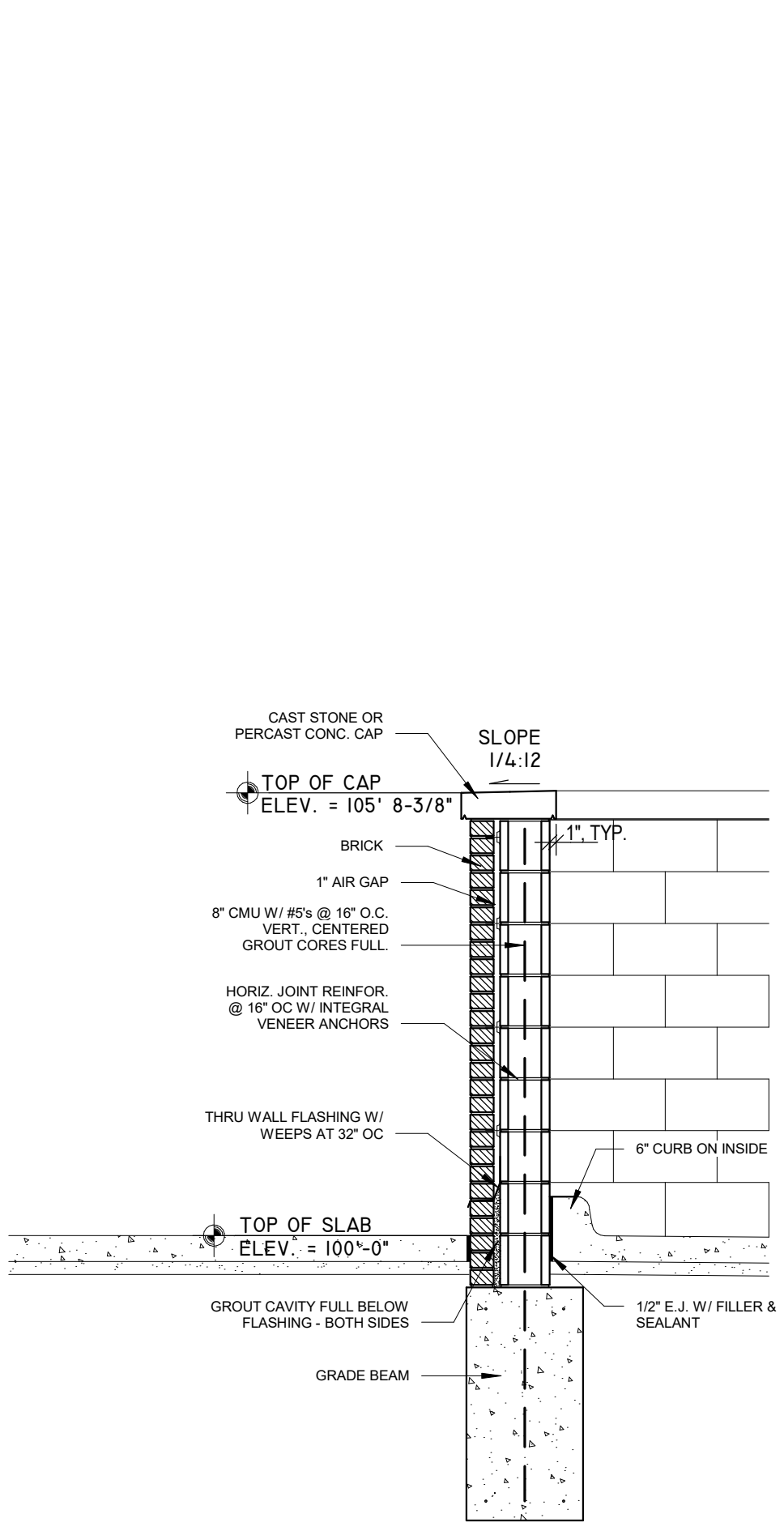
A2 GATE STL HINGE
NOT TO SCALE

B2 GATE PADLOCKABLE CANE BOLT
NOT TO SCALE

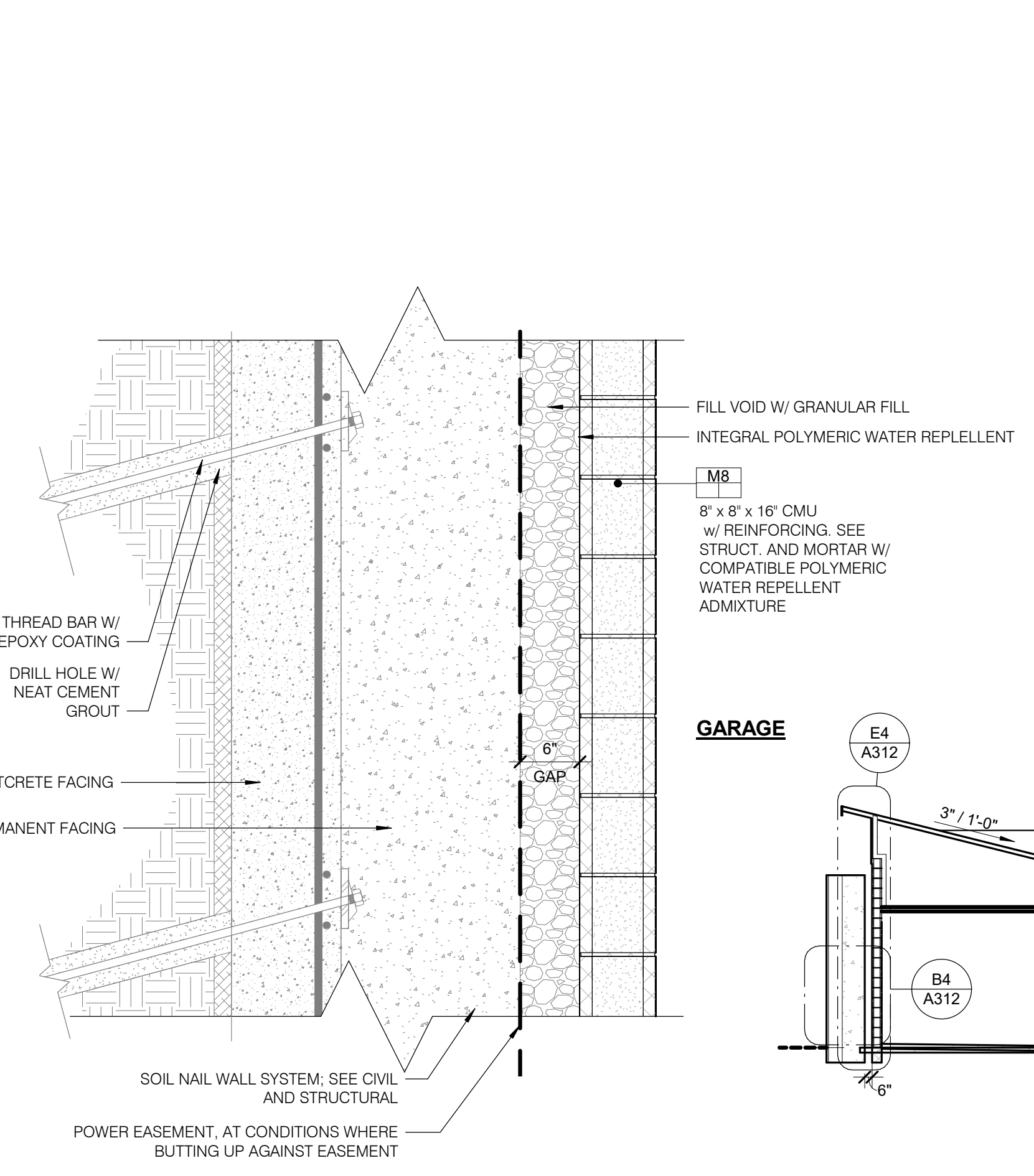
C2 GATE STL BOLT - 3/4" ROUND PADLOCK
NOT TO SCALE

D2 SOUTH ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"

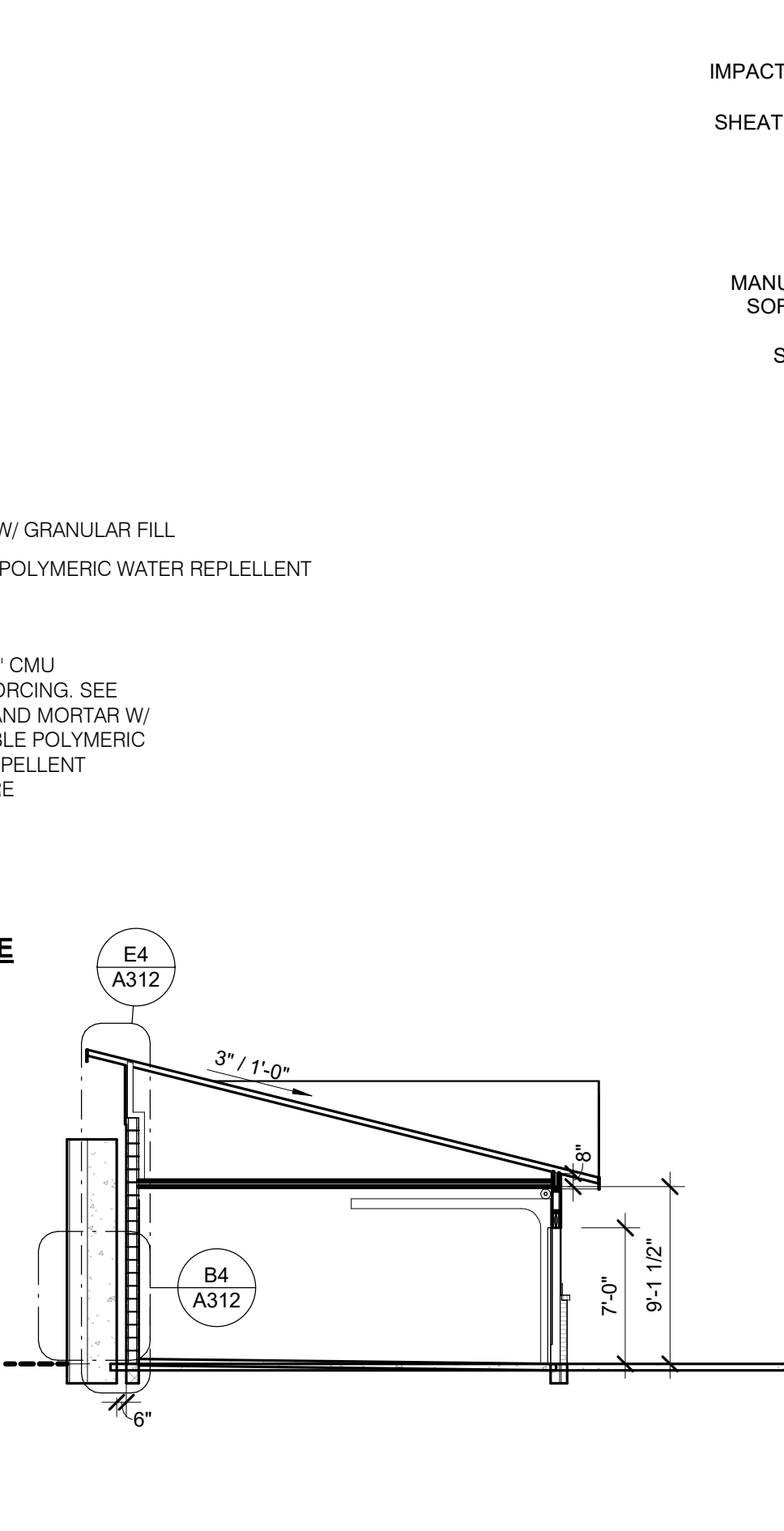
F2 WEST ELEV. - TRASH ENCLOSURE
1/4" = 1'-0"



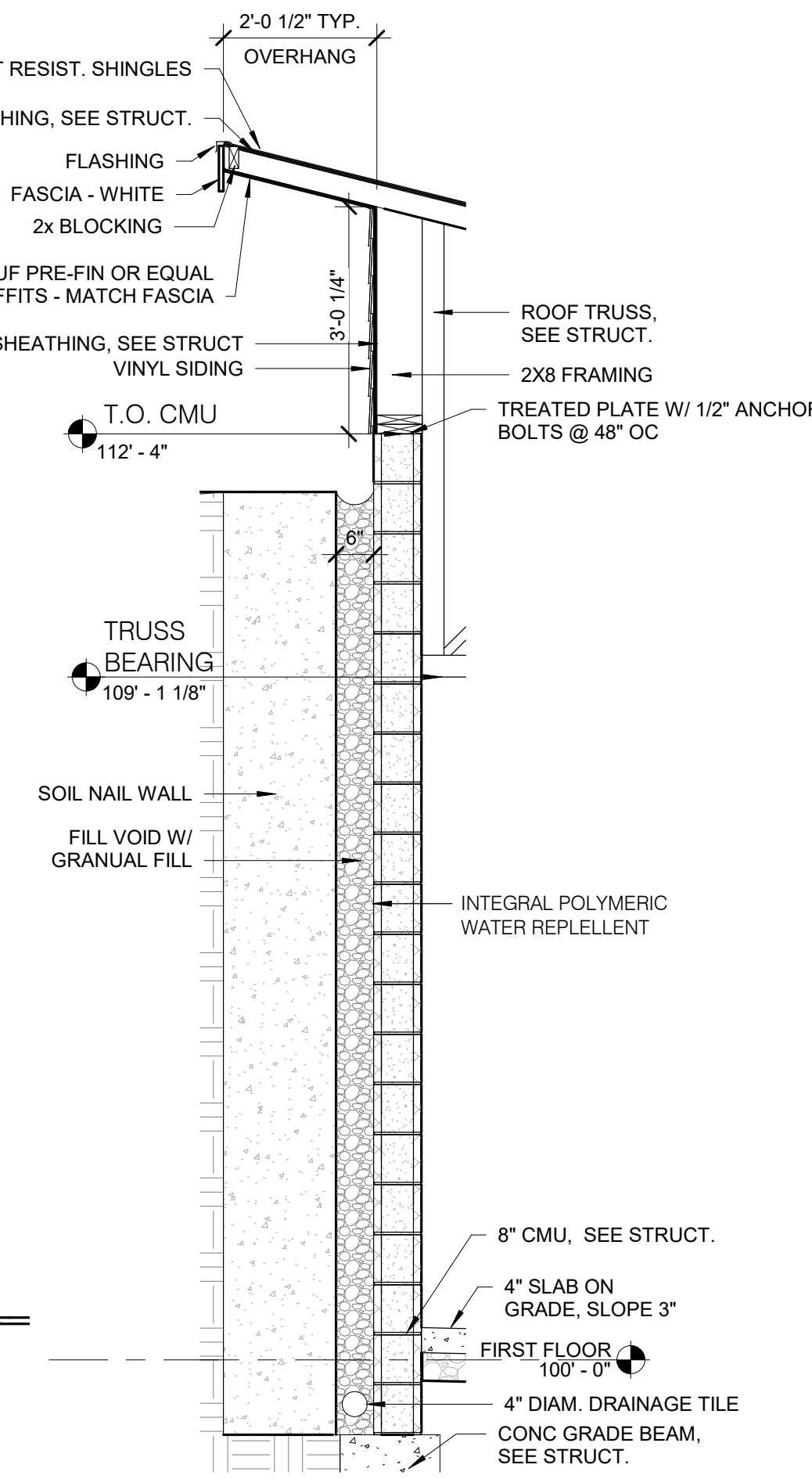
A4 TRASH ENCLOSURE WALL, TYP. Copy 1
1/2" = 1'-0"



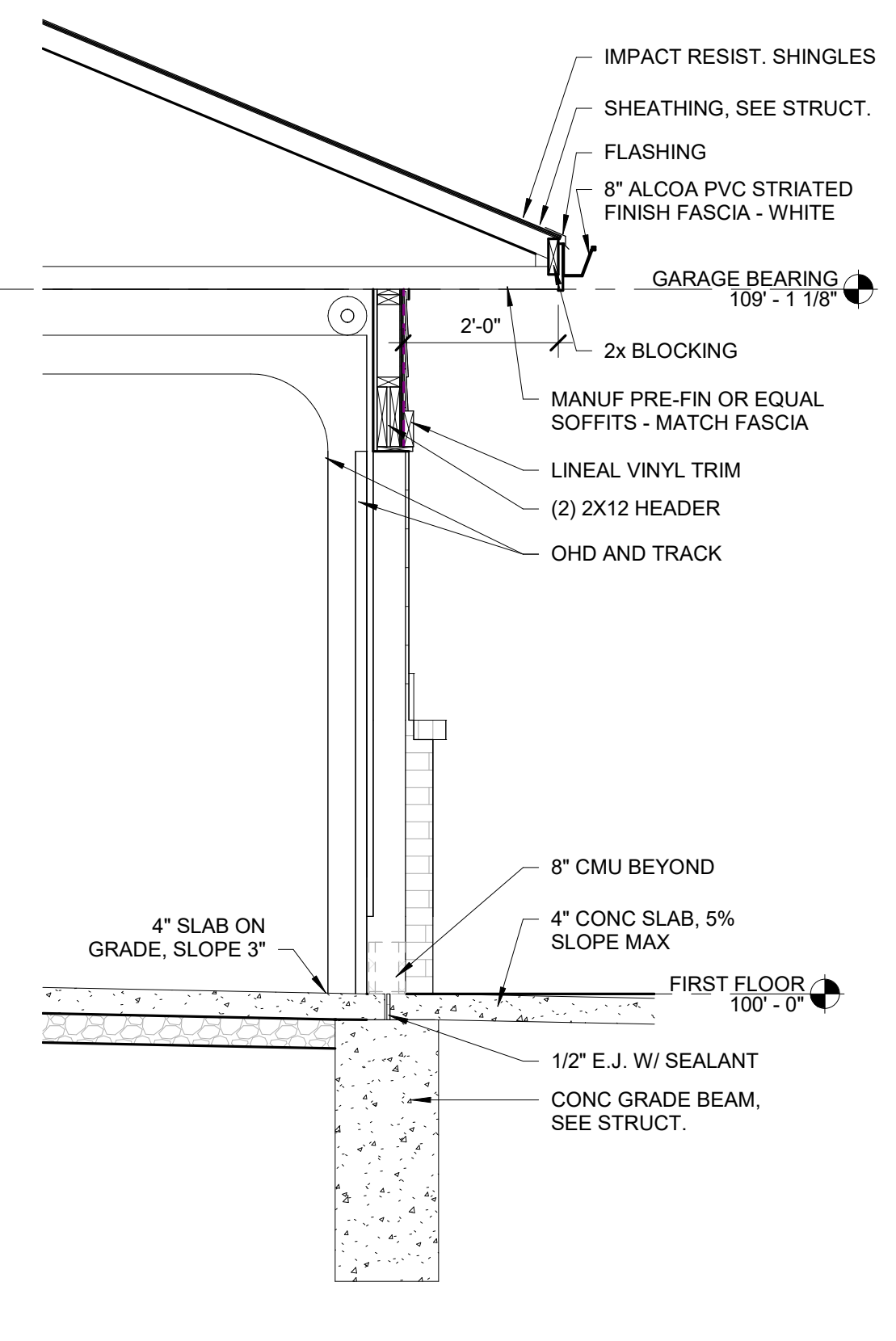
B4 CMU GARAGE WALL AT SOIL NAIL WALL CONDITION
NOT TO SCALE



C4 Section 10
1/8" = 1'-0"



E4 TYP. WEST WALL @ GARAGES
1/2" = 1'-0"



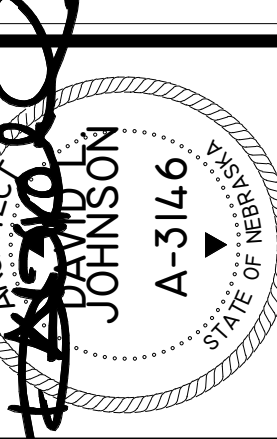
F4 SECTION @ OHD
1/2" = 1'-0"

NO.	ISSUED FOR	DATE

KEYNOTE LEGEND

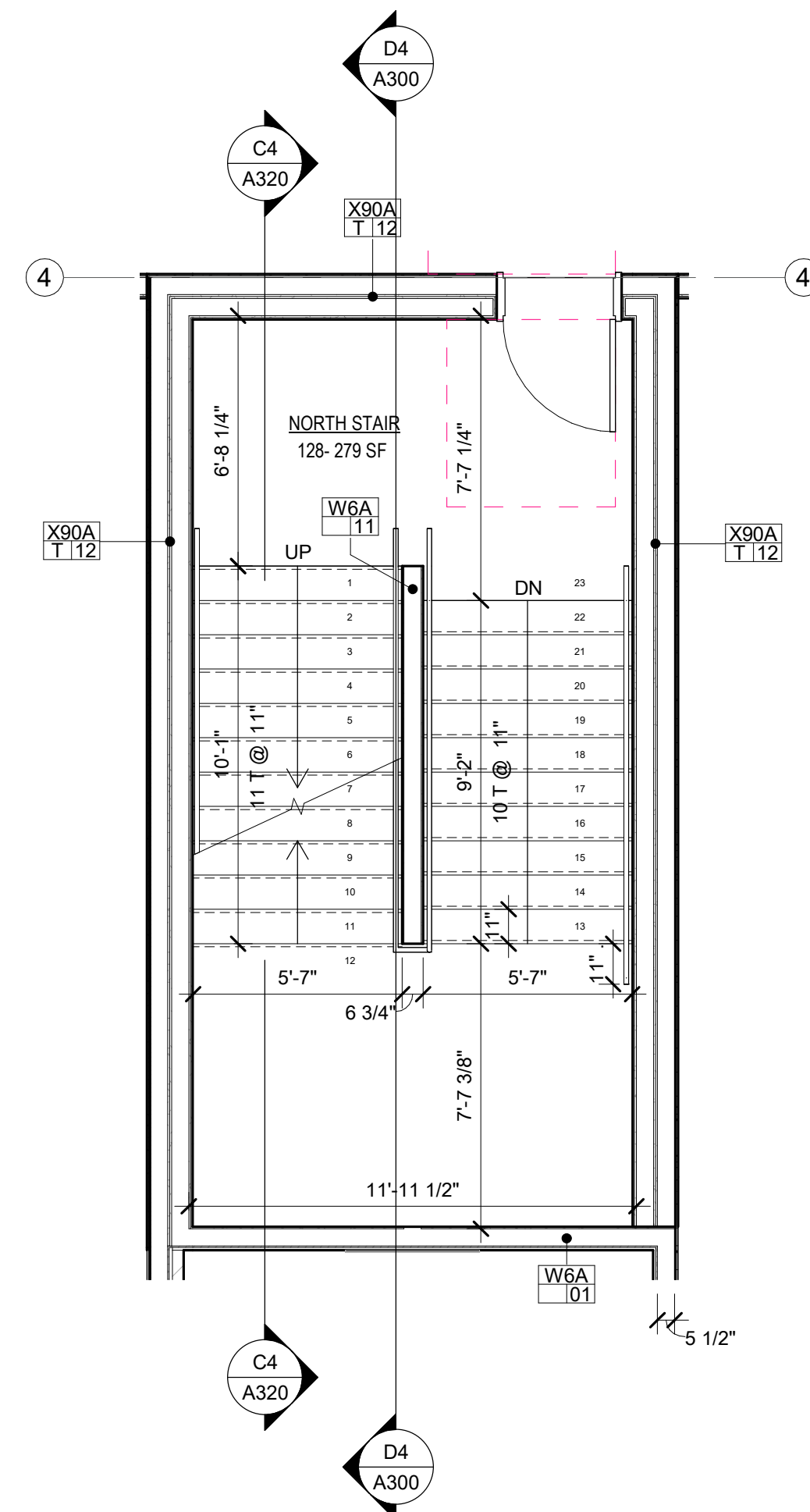
#	KEYNOTE
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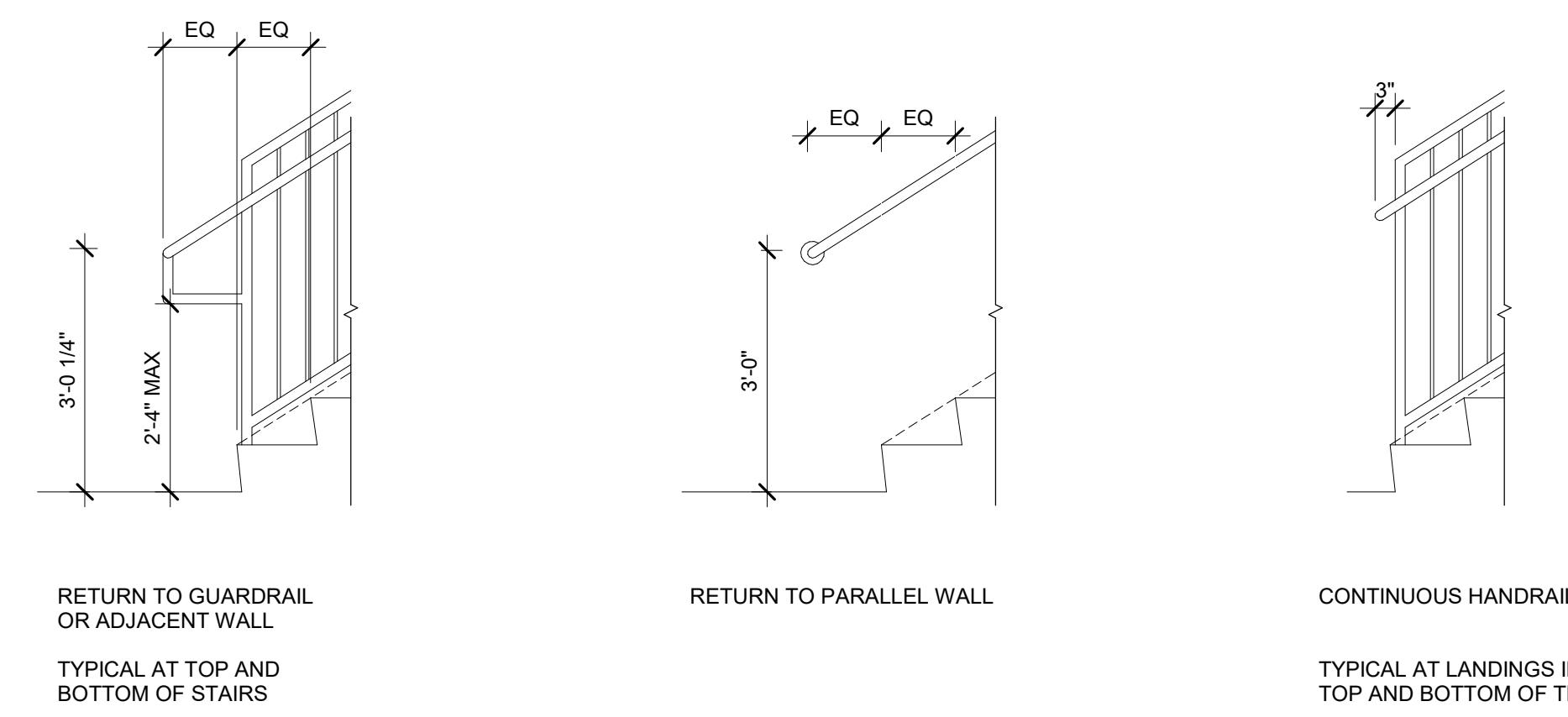


Quantum
Wolf Creek 2 Apartments
110 Plex
NORTH STAIR GEOMETRY

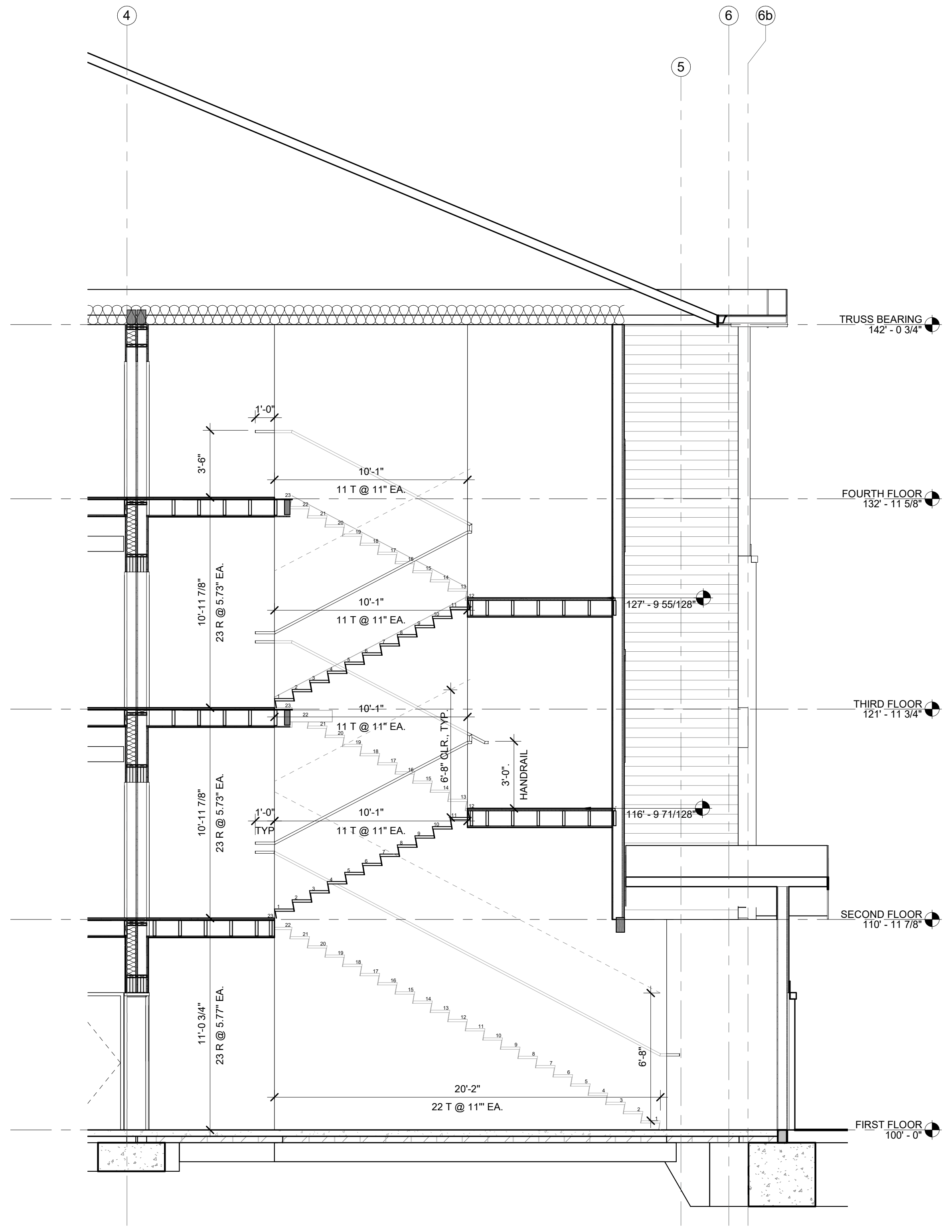
NO. - ISSUED FOR - DATE -



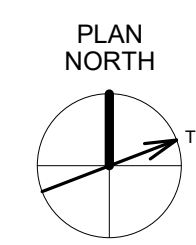
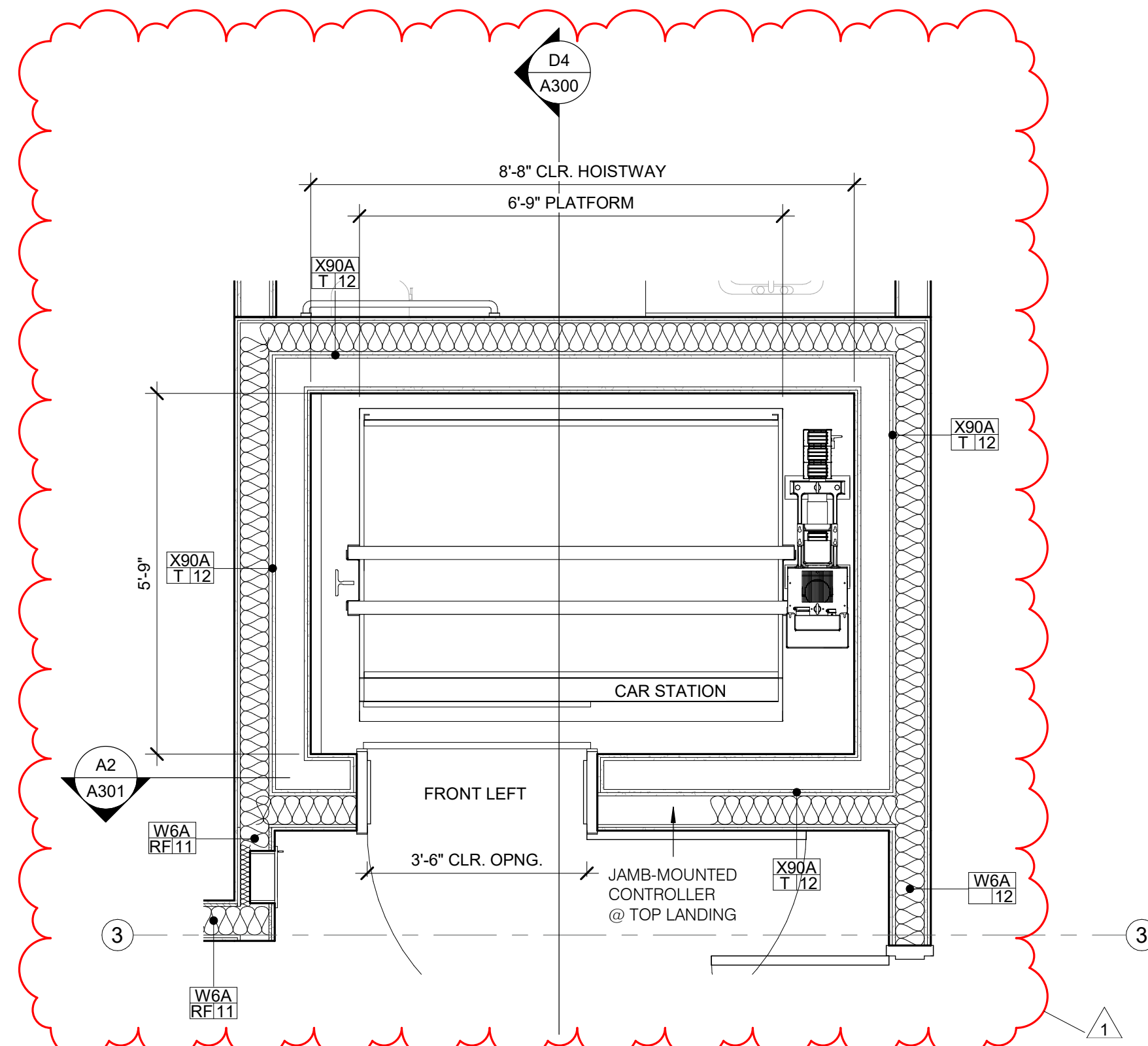
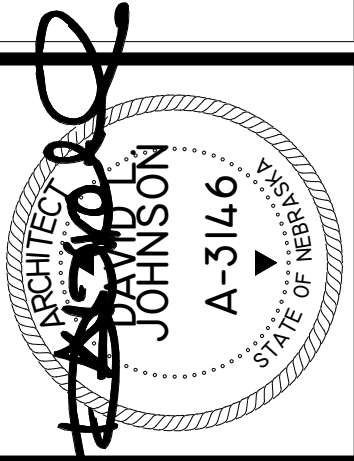
PLAN NORTH
TRUE NORTH
A3 EN. PLAN @ AT NORTH STAIR
1/4" = 1'-0" 0' 6"



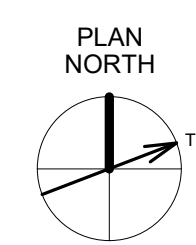
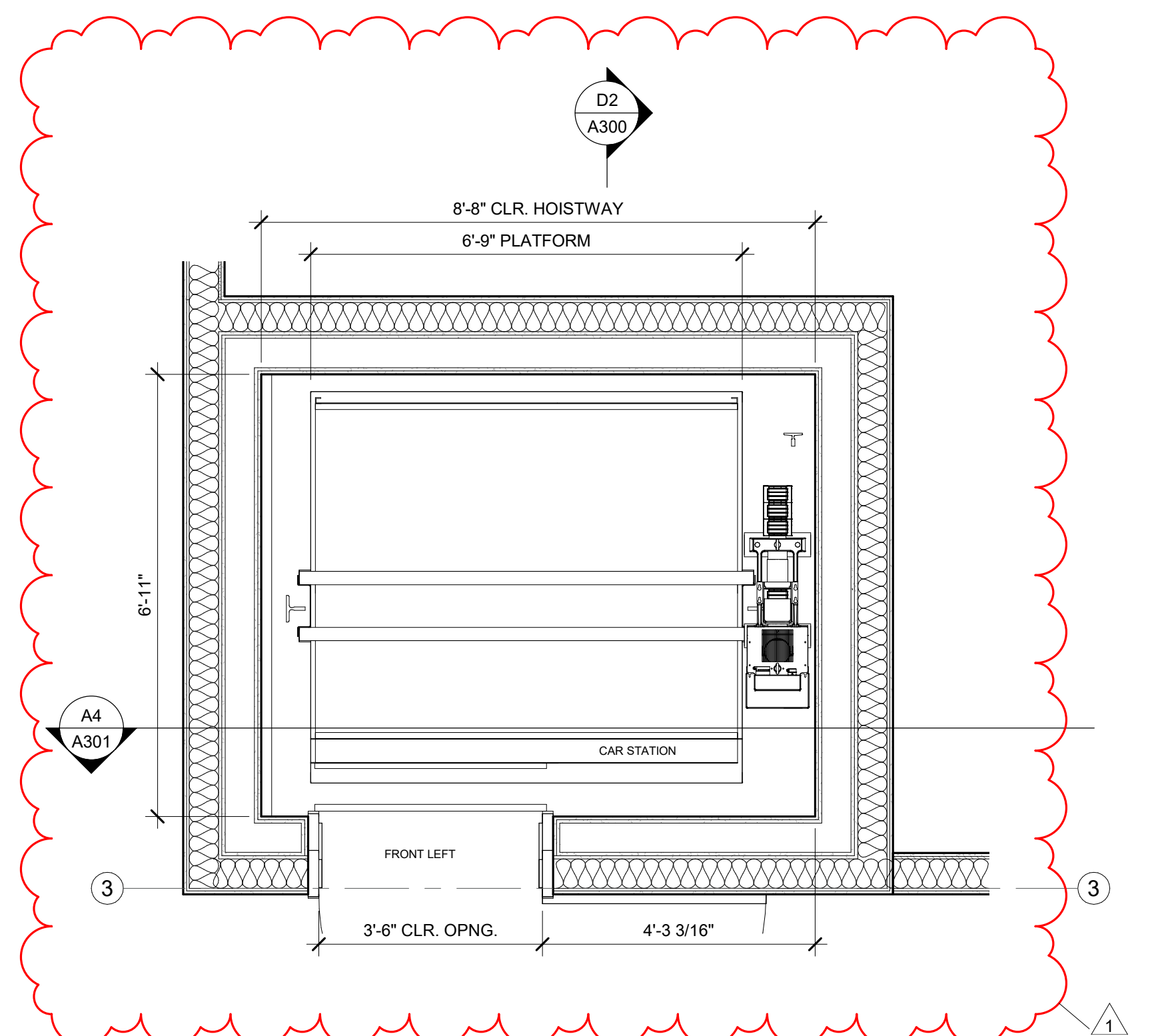
A4 RAILINGS, TYP.
1/2" = 1'-0"



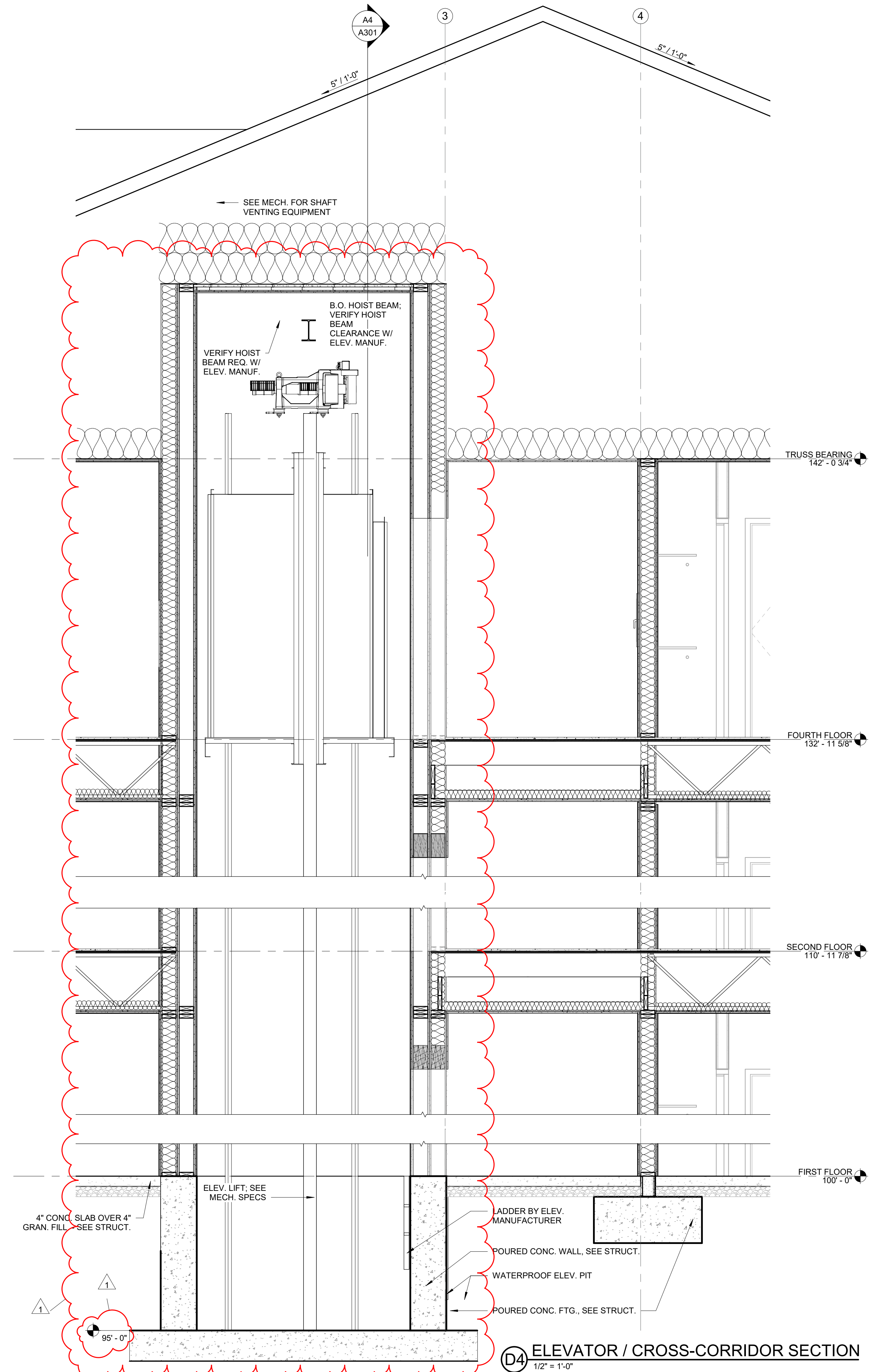
C4 NORTH STAIR SECTION
1/4" = 1'-0"



B3 ENLARGED PLAN NORTH ELEVATOR
1/2" = 1'-0" 0 3'



B4 ENLARGED PLAN SOUTH ELEVATOR
1/2" = 1'-0" 0 3'

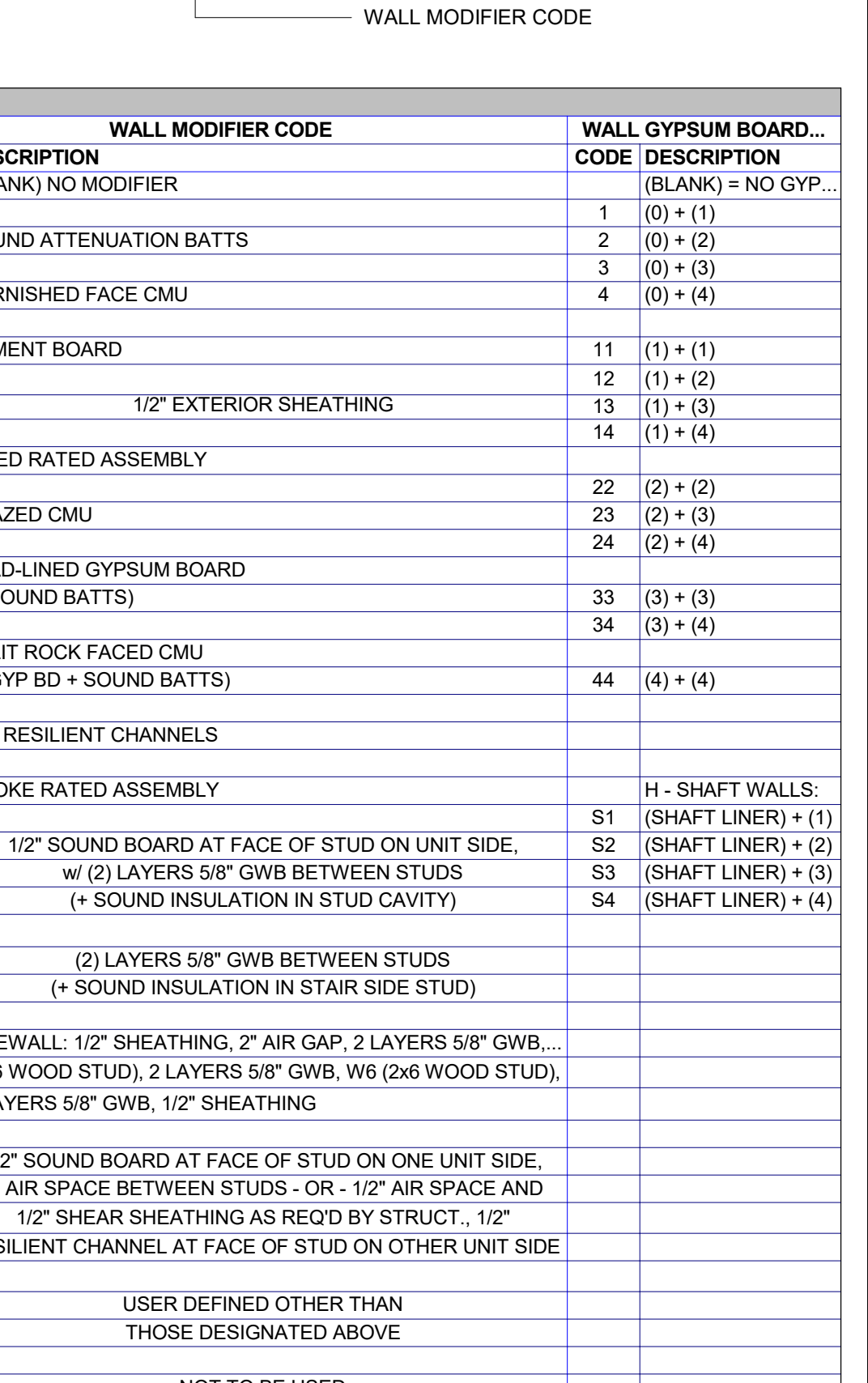
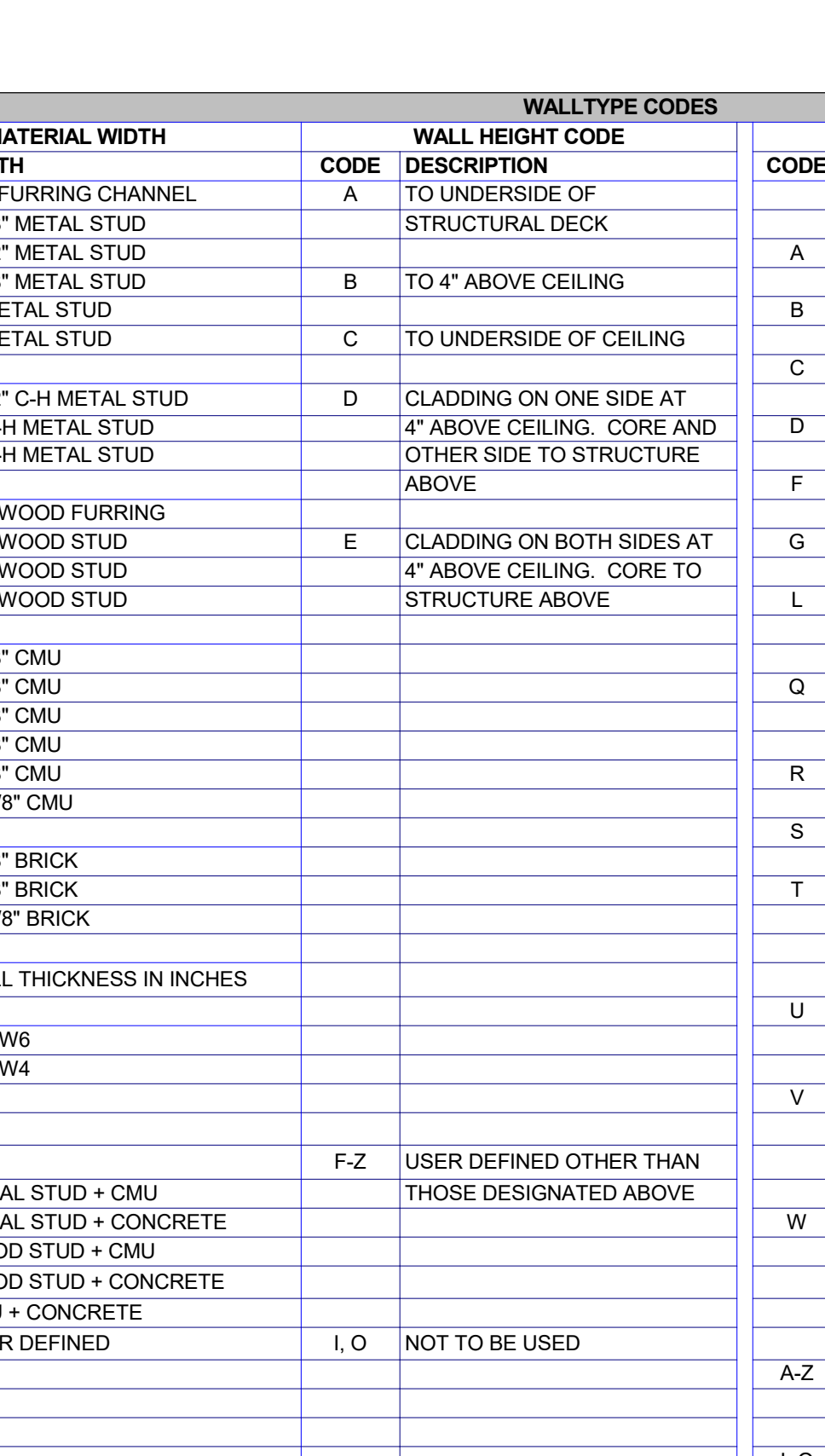
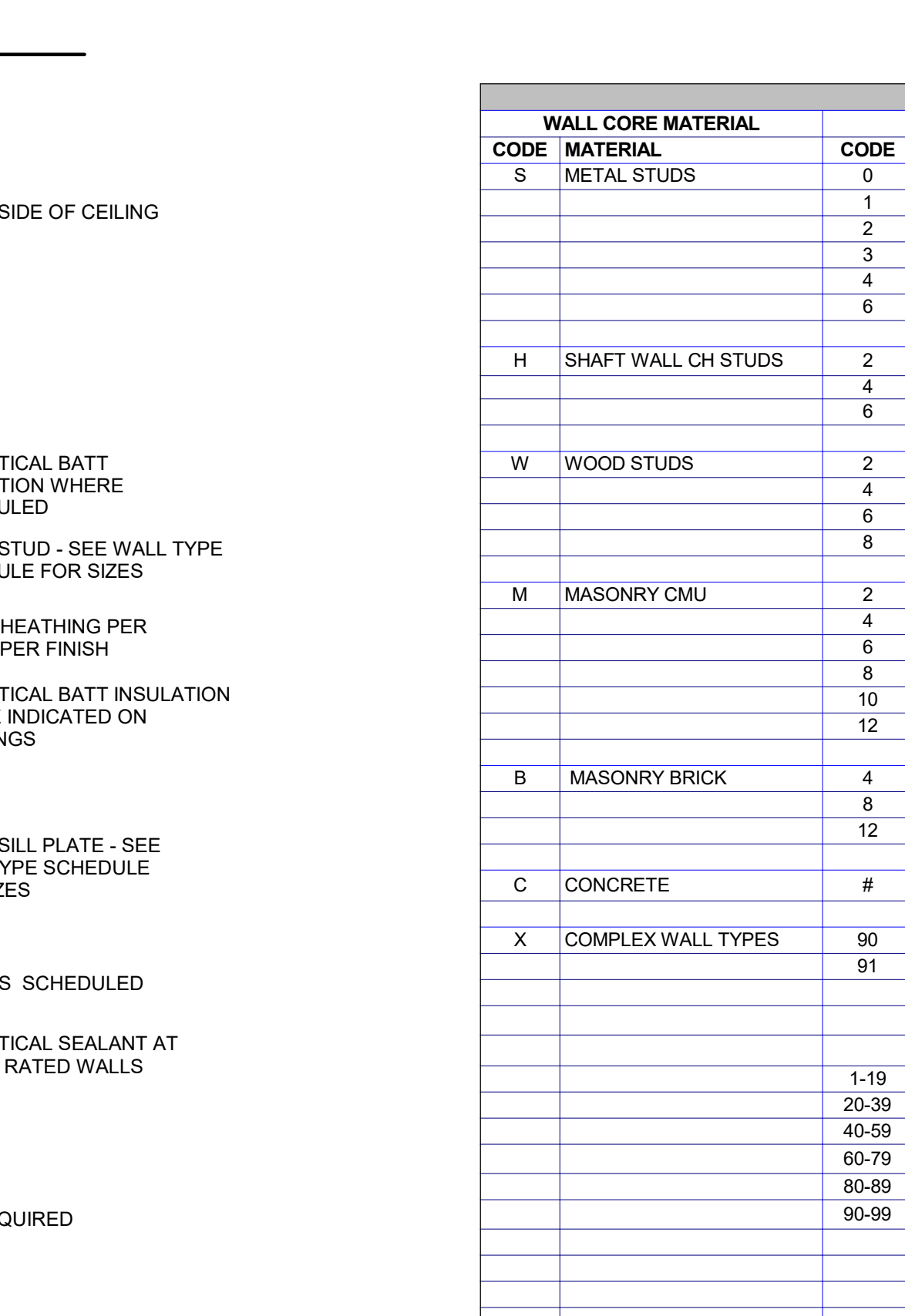
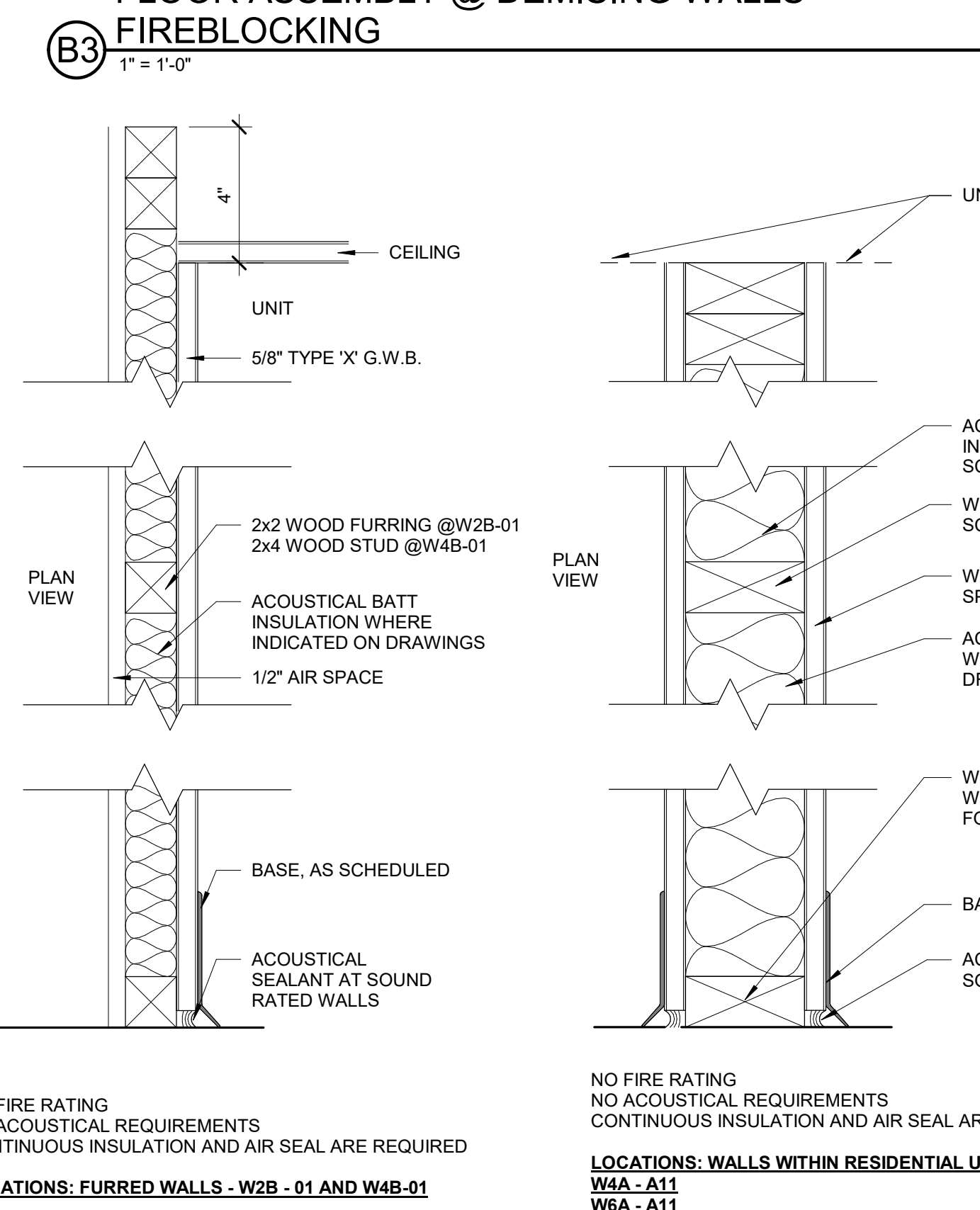
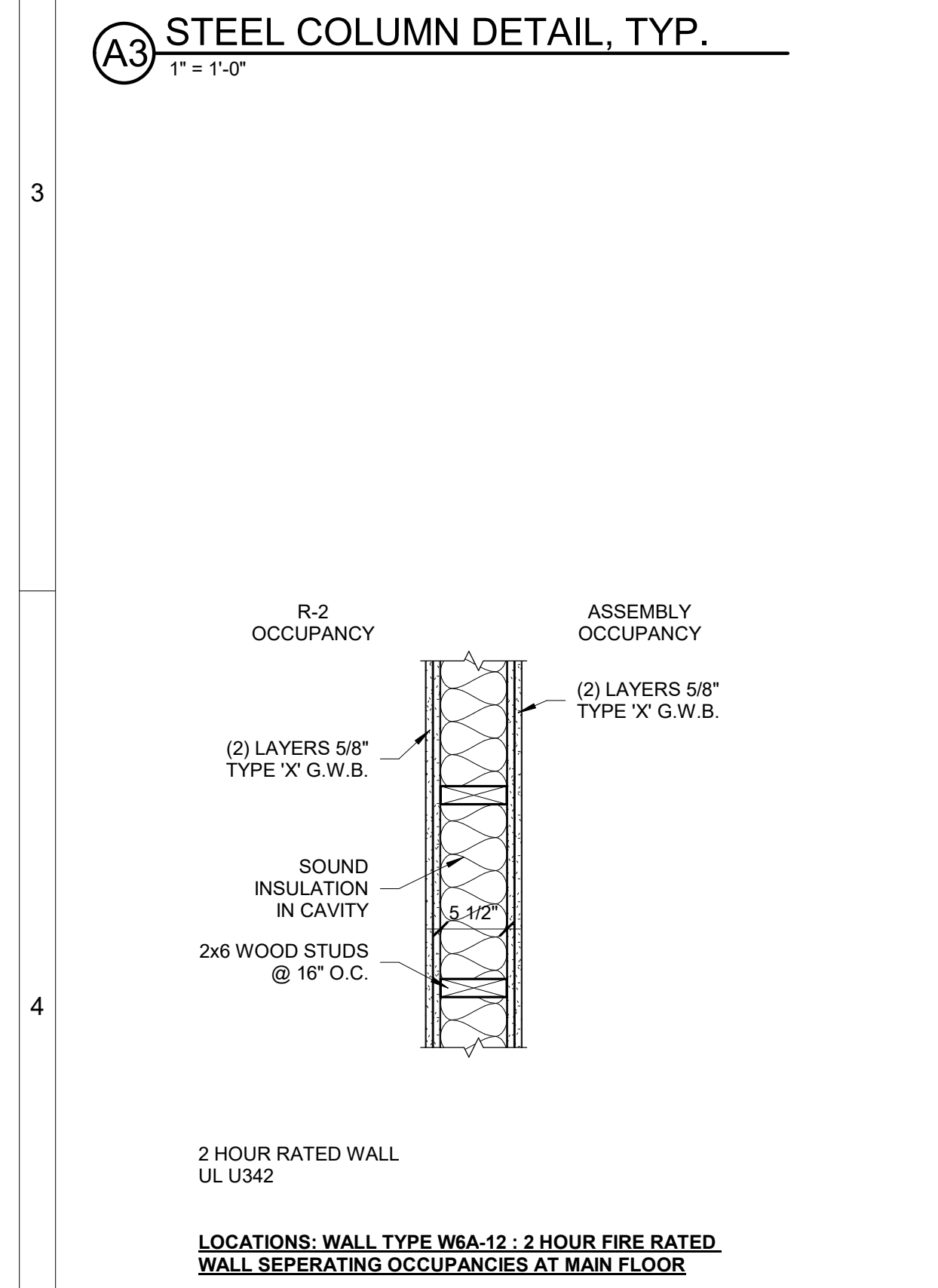
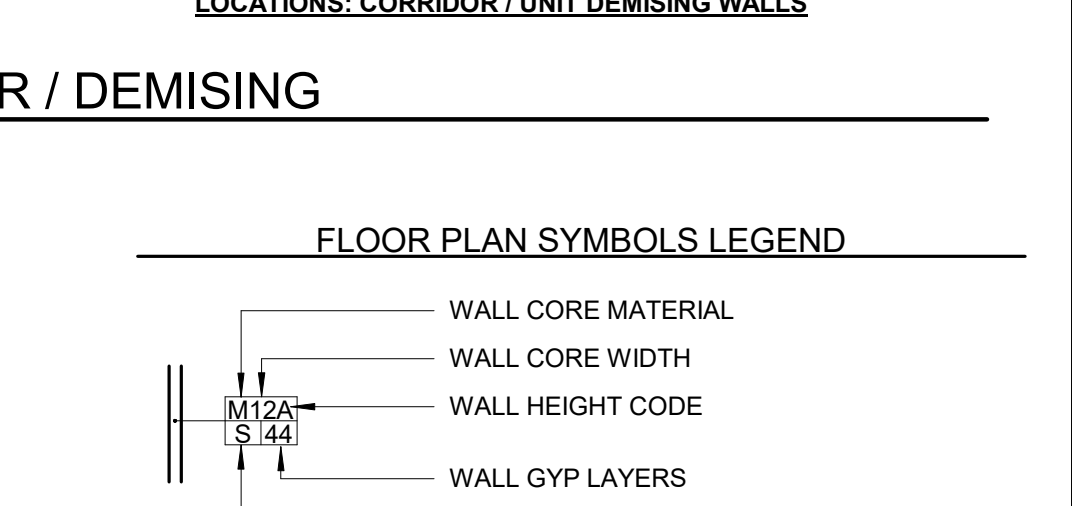
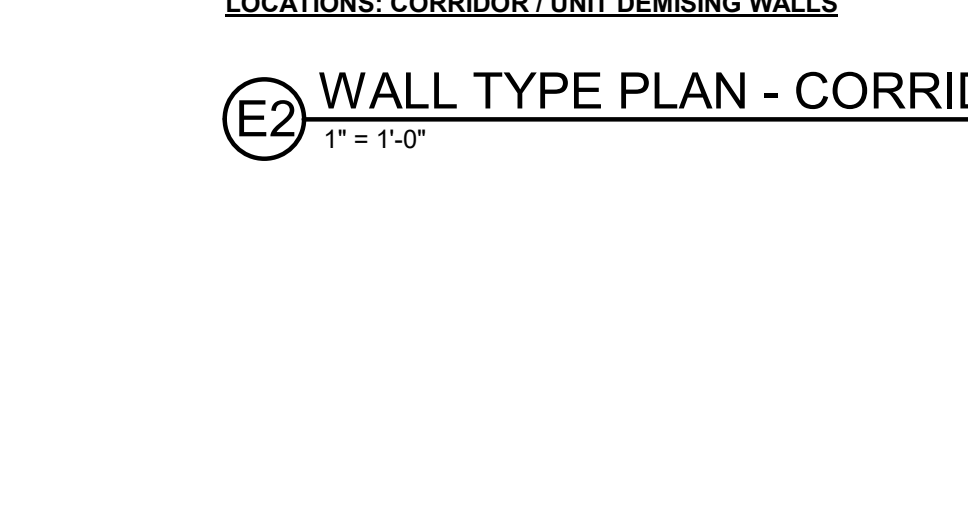
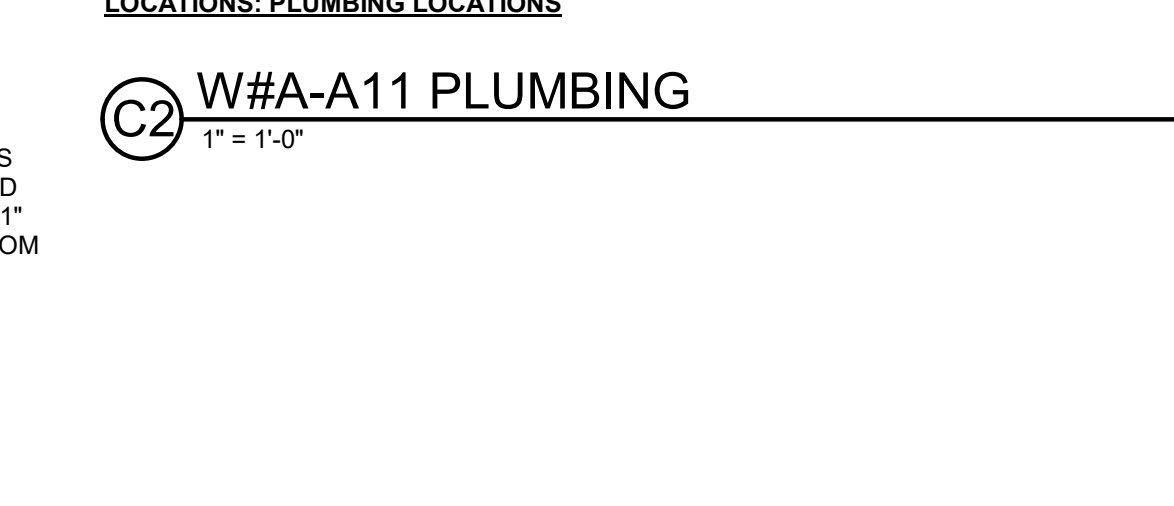
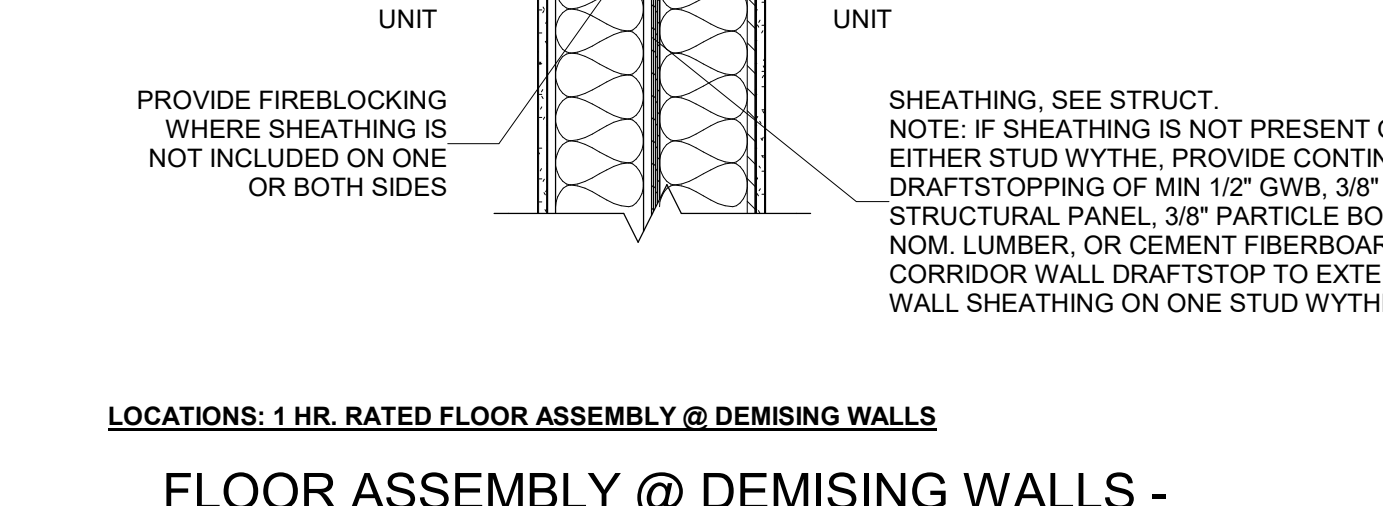
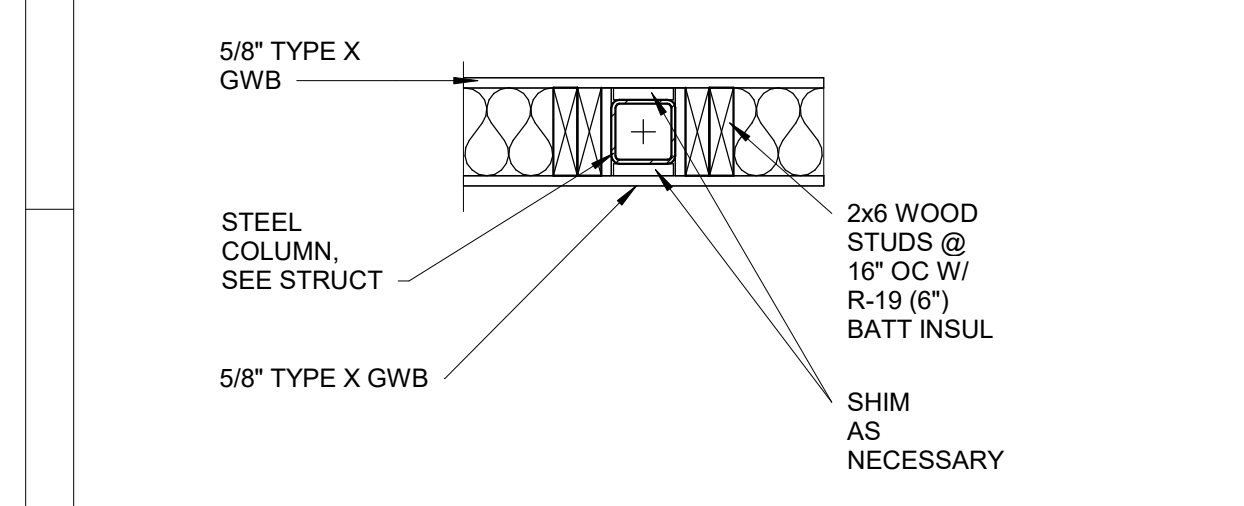
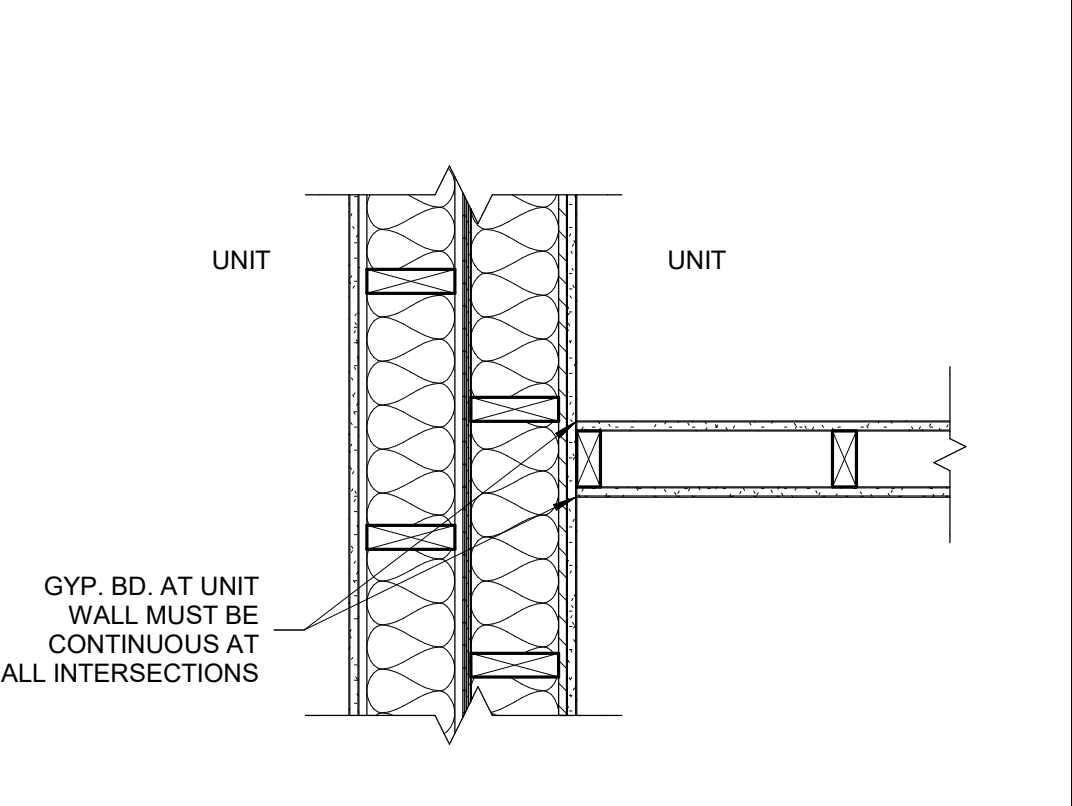
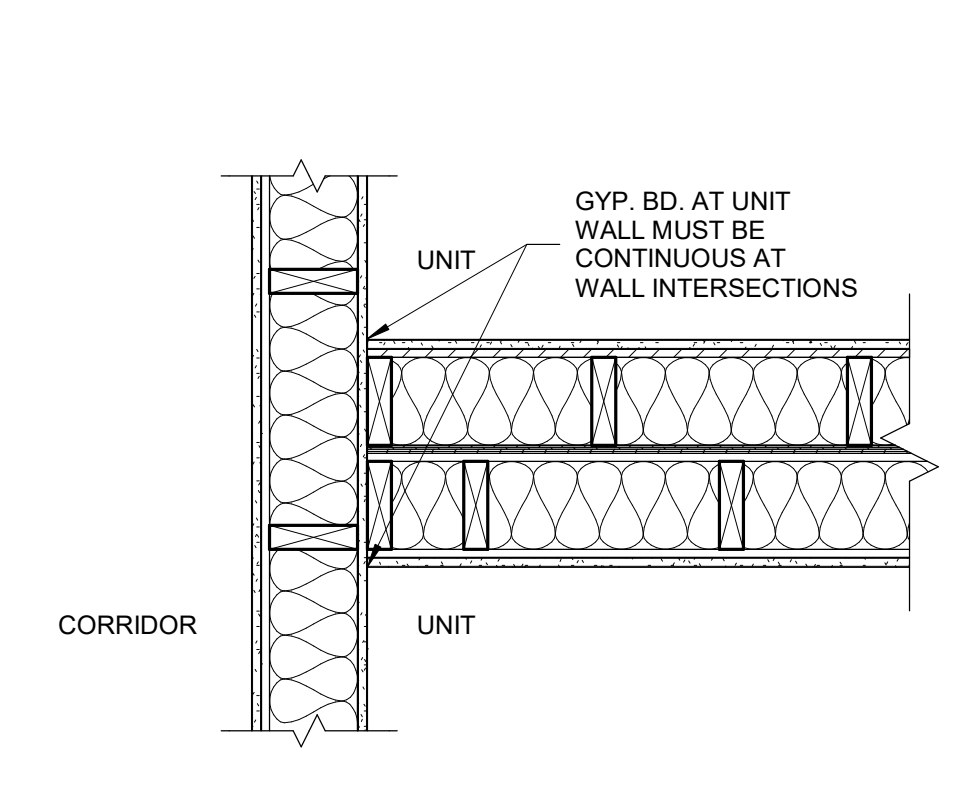
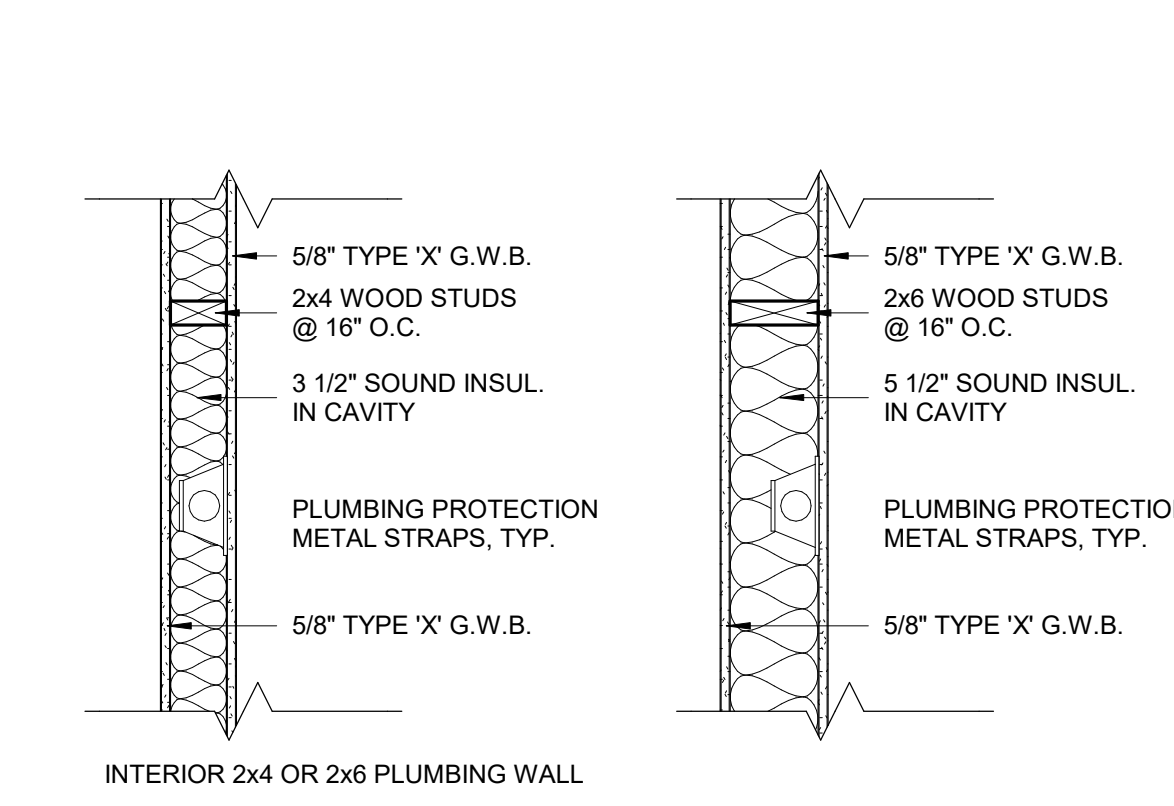
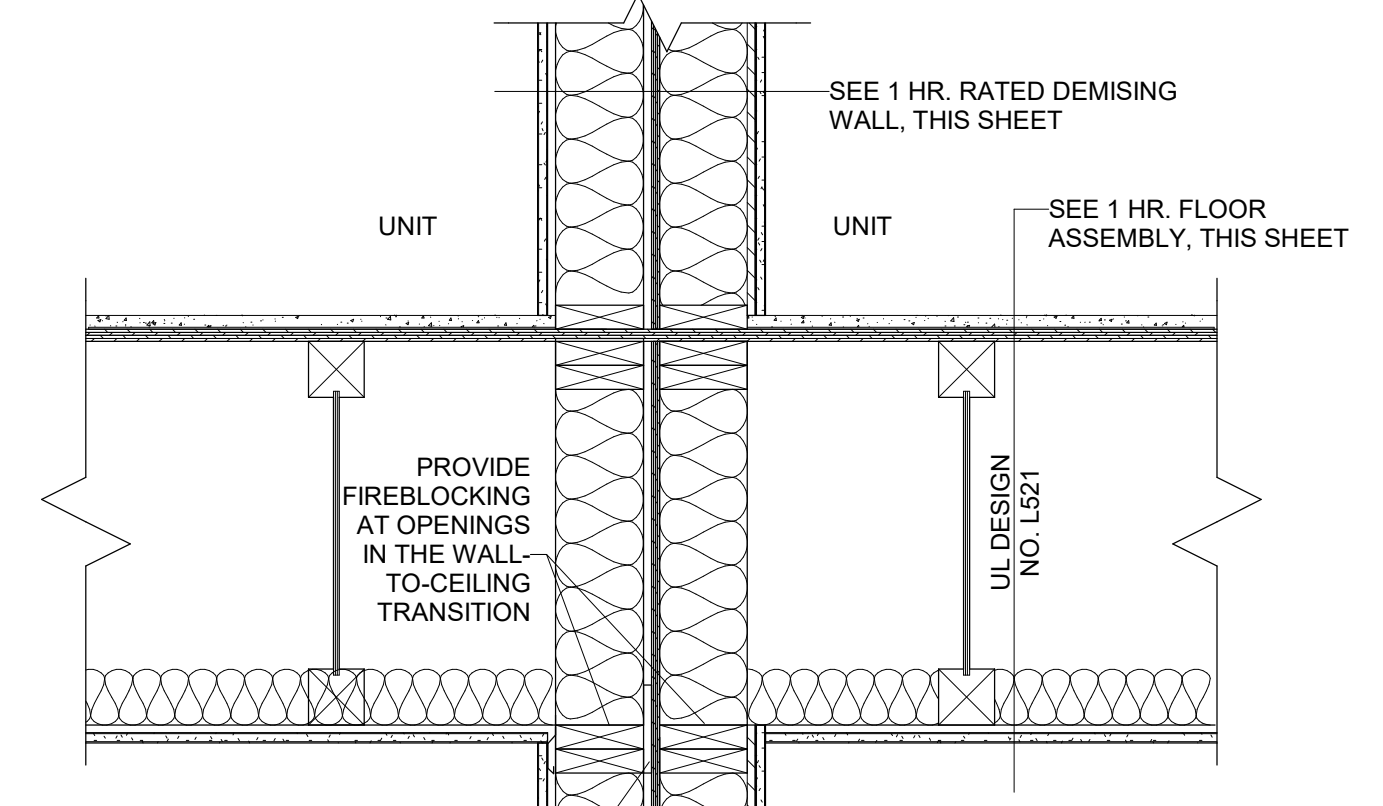
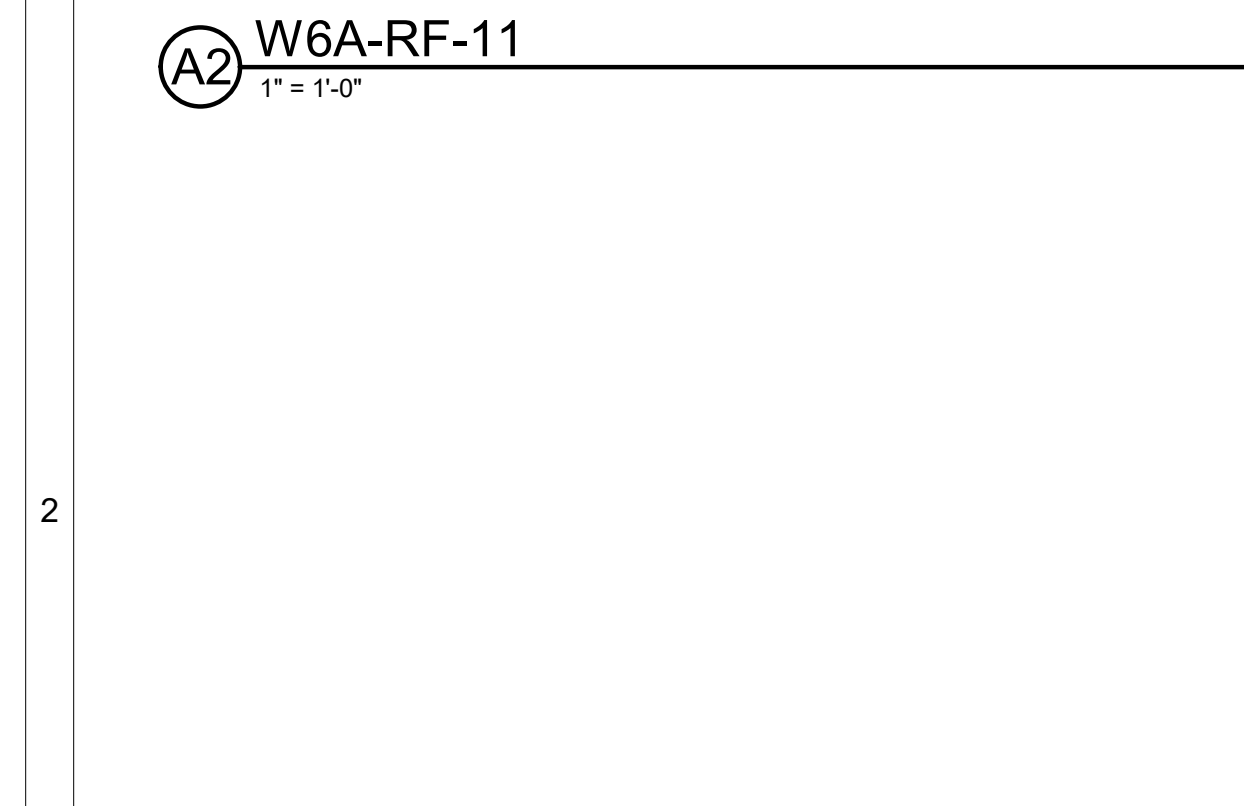
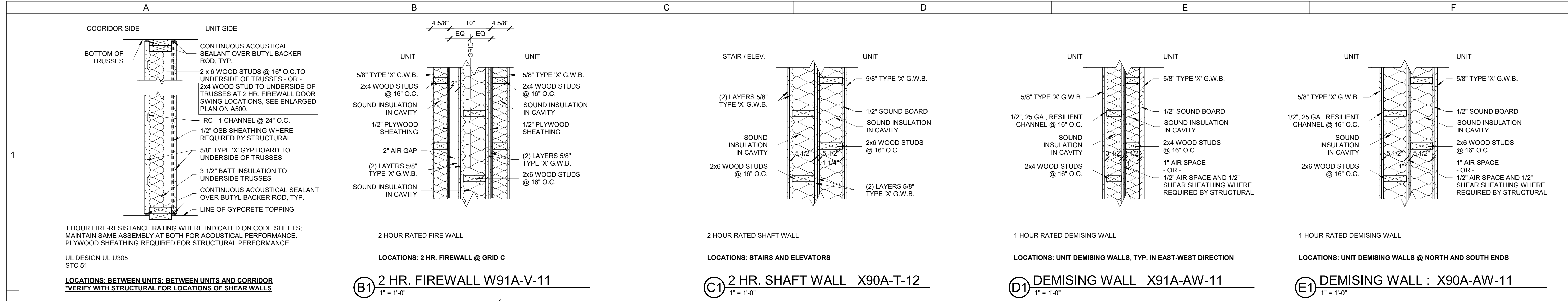


D4 ELEVATOR / CROSS-CORRIDOR SECTION
1/2" = 1'-0"

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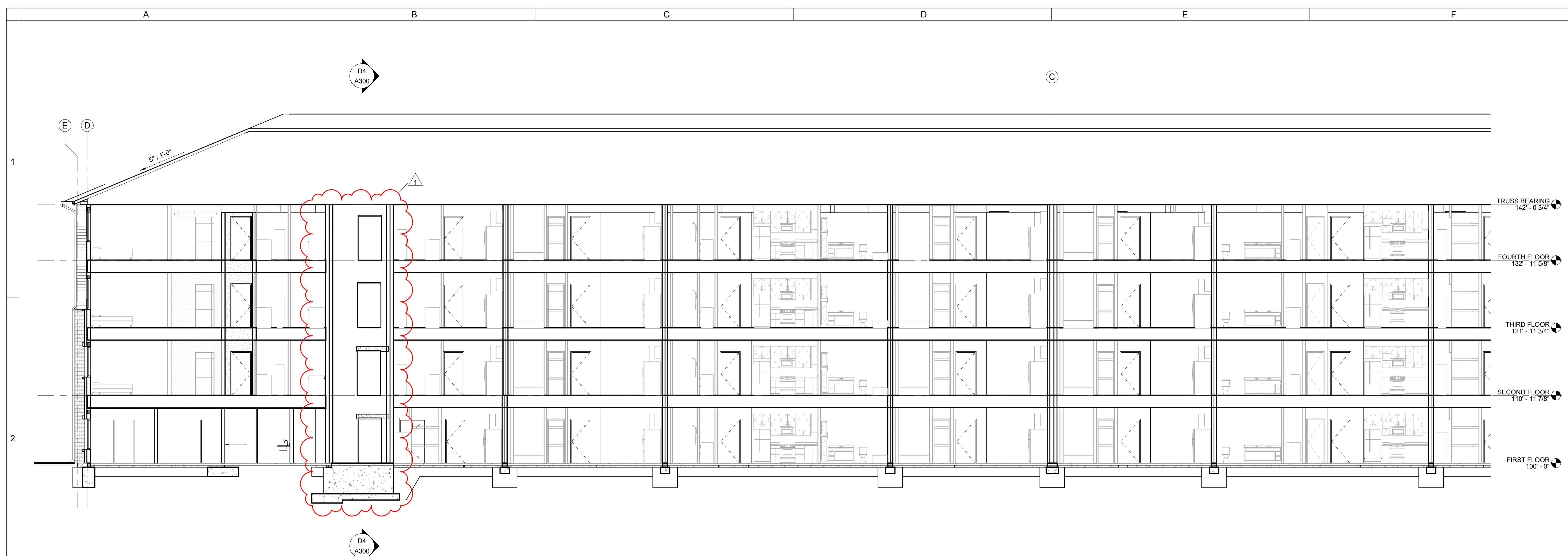
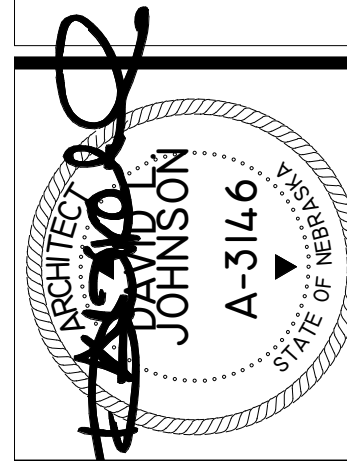
Quantum
Wolf Creek 2 Apartments
110 Plex
ELEVATORS

NO.	ISSUED FOR	DATE
1	Conveying Equipment	02/08/2022

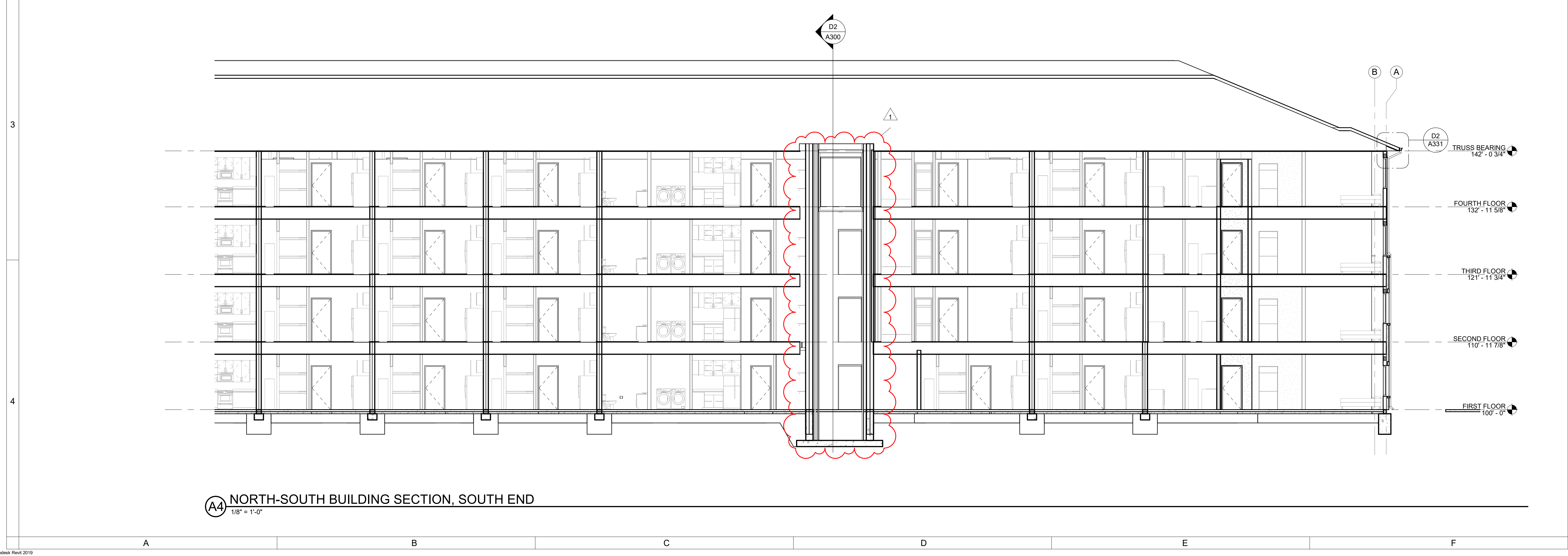


WALL CORE MATERIAL		MATERIAL WIDTH		WALL HEIGHT CODE		WALL MODIFIER CODE		WALL GYPSUM BOARD...	
CODE	DESCRIPTION	CODE	WIDTH	CODE	DESCRIPTION	CODE	DESCRIPTION	CODE	DESCRIPTION
S	METAL STUDS	0	7/8" FURRING CHANNEL	A	TO UNDERSIDE OF STRUCTURAL DECK		(BLANK) NO MODIFIER		(BLANK) = NO GYP...
		1	1 5/8" METAL STUD					1	(0) + (1)
		2	2 1/2" METAL STUD			A	SOUND ATTENUATION BATTS	2	(0) + (2)
		3	3 5/8" METAL STUD	B	TO 4" ABOVE CEILING			3	(0) + (3)
		4	4" METAL STUD			B	BURNISHED FACE CMU	4	(0) + (4)
		6	6" METAL STUD	C	TO UNDERSIDE OF CEILING				
H	SHAFT WALL CH STUDS	2	2 1/2" C-H METAL STUD	D	CLADDING ON ONE SIDE AT 4" ABOVE CEILING. CORE AND OTHER SIDE TO STRUCTURE ABOVE			11	(1) + (1)
		4	4" C-H METAL STUD					12	(1) + (2)
		6	6" C-H METAL STUD			D	1/2" EXTERIOR SHEATHING	13	(1) + (3)
								14	(1) + (4)
W	WOOD STUDS	2	2X2 WOOD FURRING			F	FIRED RATED ASSEMBLY	22	(2) + (2)
		4	2X4 WOOD STUD	E	CLADDING ON BOTH SIDES AT 4" ABOVE CEILING. CORE TO STRUCTURE ABOVE	G	GLAZED CMU	23	(2) + (3)
		6	2X6 WOOD STUD					24	(2) + (4)
		8	2X8 WOOD STUD			L	LEAD-LINED GYPSUM BOARD (+ SOUND BATTS)	33	(3) + (3)
M	MASONRY CMU	2	1 5/8" CMU					34	(3) + (4)
		4	3 5/8" CMU			Q	SPLIT ROCK FACED CMU (+ GYP BD + SOUND BATTS)	44	(4) + (4)
		6	5 5/8" CMU						
		8	7 5/8" CMU			R	1/2" RESILIENT CHANNELS		
		10	9 5/8" CMU						
		12	11 5/8" CMU			S	SMOKE RATED ASSEMBLY		
B	MASONRY BRICK	4	3 5/8" BRICK						
		8	7 5/8" BRICK			T	1/2" SOUND BOARD AT FACE OF STUD ON UNIT SIDE. W (2) LAYERS 5/8" GWB BETWEEN STUDS (+ SOUND INSULATION IN STUD CAVITY)	S1	(SHAFT LINER) + (1)
		12	11 5/8" BRICK					S2	(SHAFT LINER) + (2)
								S3	(SHAFT LINER) + (3)
								S4	(SHAFT LINER) + (4)
C	CONCRETE	#	WALL THICKNESS IN INCHES			U	(2) LAYERS 5/8" GWB BETWEEN STUDS (+ SOUND INSULATION IN STAIR SIDE STUD)		
X	COMPLEX WALL TYPES	90	W6+W6			V	FIREWALL: 1/2" SHEATHING, 2" AIR GAP, 2 LAYERS 5/8" GWB... (2X6 WOOD STUD), 2 LAYERS 5/8" GWB, W6 (2X6 WOOD STUD), 2 LAYERS 5/8" GWB, 1/2" SHEATHING		
		91	W4+W4						
		1-19	METAL STUD + CMU	F-Z	USER DEFINED OTHER THAN THOSE DESIGNATED ABOVE	W	1/2" SOUND BOARD AT FACE OF STUD ON ONE UNIT SIDE. 1" AIR SPACE BETWEEN STUDS - OR - 1/2" AIR SPACE AND 1/2" SHEAR SHEATHING AS REQ'D BY STRUCT. 1/2" RESILIENT CHANNEL AT FACE OF STUD ON OTHER UNIT SIDE		
		20-39	METAL STUD + CONCRETE						
		40-59	WOOD STUD + CMU			A-Z	USER DEFINED OTHER THAN THOSE DESIGNATED ABOVE		
		60-79	WOOD STUD + CONCRETE						
		80-89	CMU + CONCRETE						
		90-99	USER DEFINED	I, O	NOT TO BE USED	I, O	NOT TO BE USED		

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A2 NORTH-SOUTH BUILDING SECTION
1/8" = 1'-0"

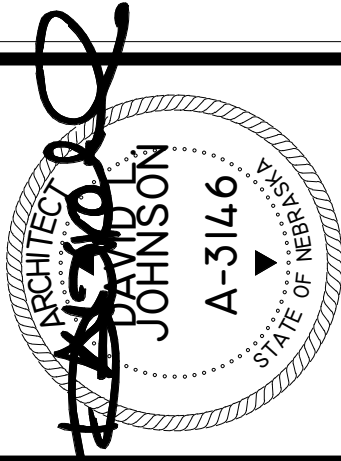


A4 NORTH-SOUTH BUILDING SECTION, SOUTH END
1/8" = 1'-0"

Quantum
Wolf Creek 2 Apartments
110 Plex
BUILDING SECTIONS

NO.	ISSUED FOR	DATE
1	Conveying Equipment	02/08/2022

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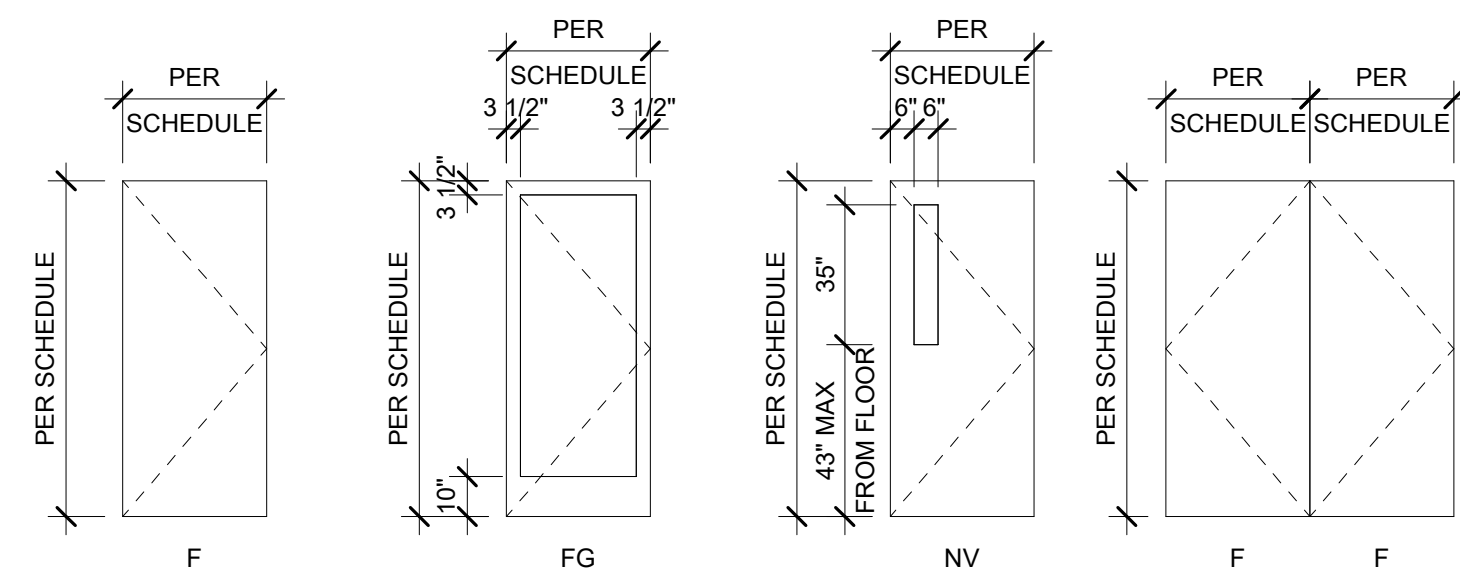
Quantum
Wolf Creek 2 Apartments
110 Plex

DOOR INFORMATION

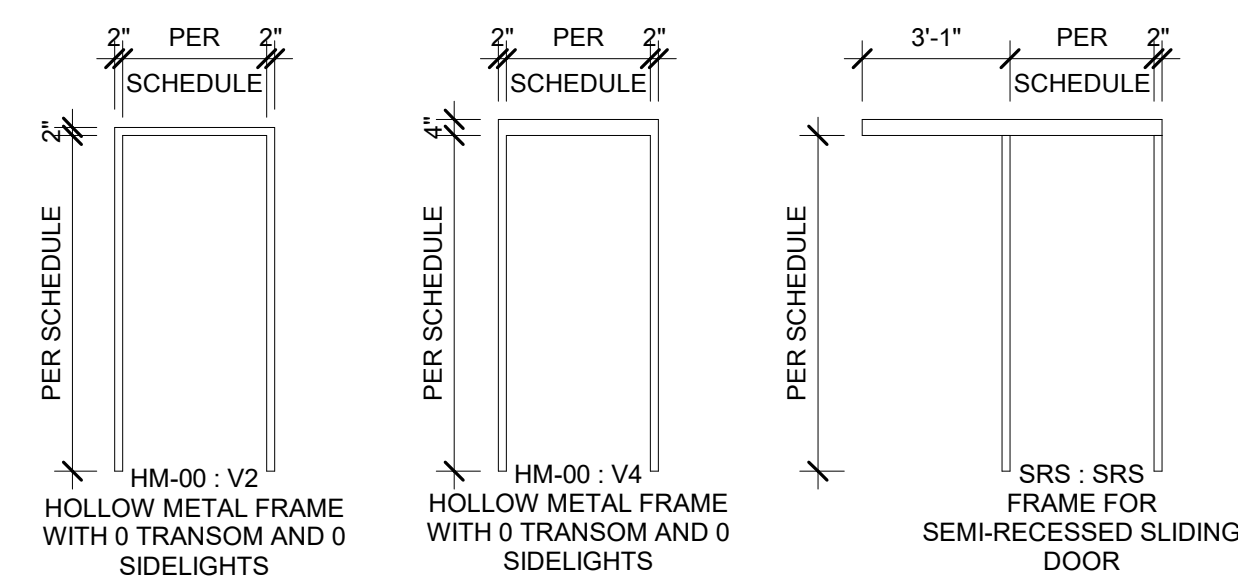
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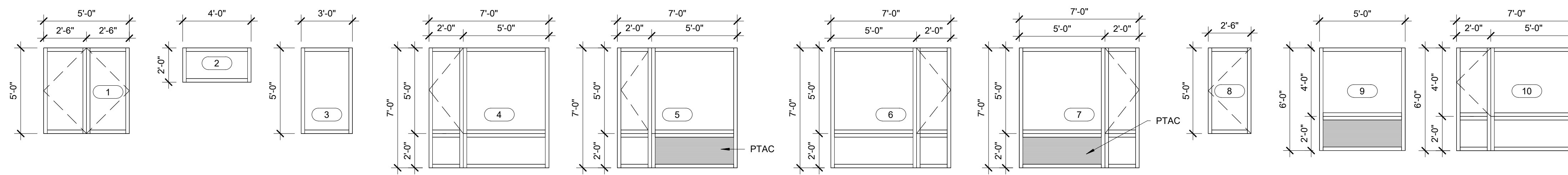
A600



G5 DOOR PANEL ELEVATIONS
1/4" = 1'-0" 0 6'



G6 DOOR FRAME ELEVATIONS
1/4" = 1'-0" 0 6'



A4 WINDOW TYPES
1/4" = 1'-0"

A

B

C

D

E

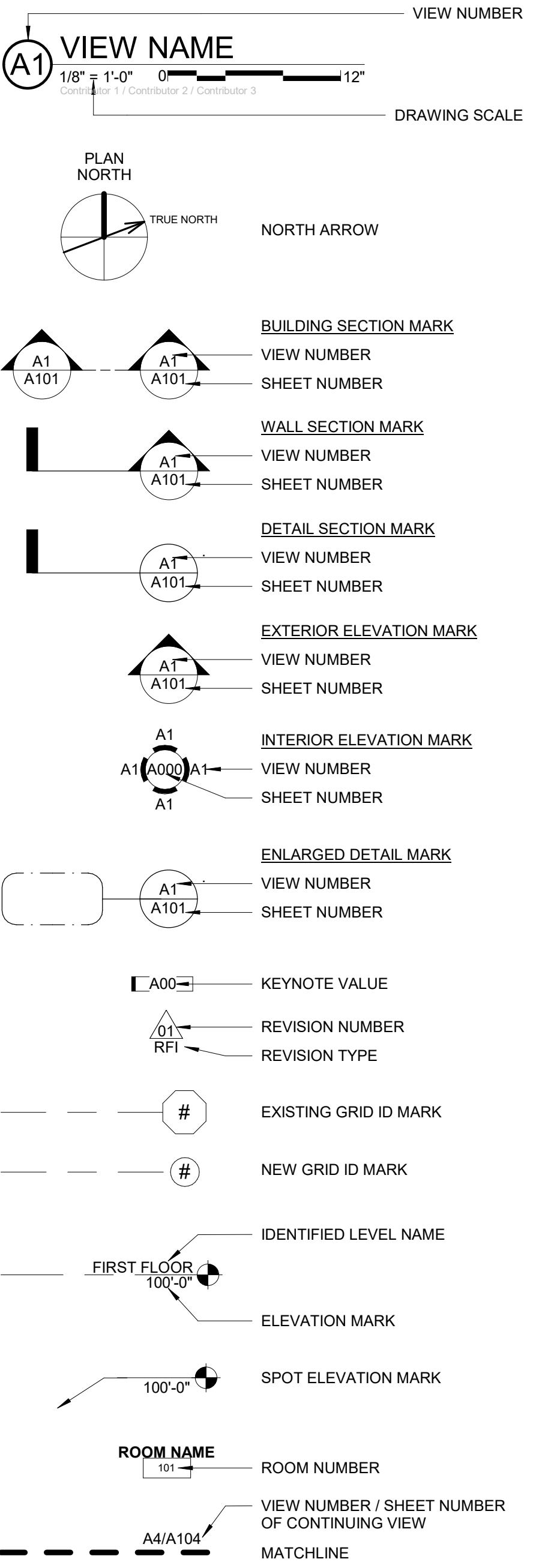
F

ABBREVIATIONS

Table of abbreviations with columns for SYMBOLS and descriptions. Includes entries for AND, ARCHITECT, BOTTOM OF BUILDING, CLOSED CIRCUIT TELEVISION, DOUBLE, EACH, EPOXY FLOORING, EXPANSION JOINT, FOUNDATION, FIRE EXTINGUISHER, GALVANIZED, HARDWARE, INTERNATIONAL BUILDING CODE, JANITOR, and JOINT.

Table of abbreviations with columns for SYMBOLS and descriptions. Includes entries for KNOCKOUT, LAVATORY, LINEAR FOOT, LEFT HAND, LEFT HAND REVERSE, LONG LEG VERTICAL, LAMINATED VENEER LUMBER, LUXURY VINYL TILE, MAINTENANCE, MATERIAL, MAXIMUM, MECHANICAL, MEZZANINE, MANUFACTURING, MANUFACTURER, MICROPHONE, MINUTE, MISCELLANEOUS, MASONRY OPENING, MOUNTED, METAL, NOT APPLICABLE, NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION, NOT IN CONTRACT, NOMINAL, NOISE REDUCTION COEFFICIENT, NATIONAL ROOFING CONTRACTORS ASSOCIATION, NOT TO SCALE, ON CENTER, OUTSIDE DIAMETER, OWNER FURNISHED CONTRACTOR INSTALLED, OWNER FURNISHED OWNER INSTALLED, OPPOSITE, OVERHEAD DOOR, PAINT, PERPENDICULAR, PARKWAY, PLATE or PLASTIC LAMINATE, PLASTIC LAMINATE, PLYWOOD, PAIR, PREFABRICATED, PREFINISHED, PREPARE (ATION), POUNDS PER SQUARE FOOT, POUNDS PER SQUARE INCH, RAD or RADIUS, ROOF CONSULTANTS INSTITUTE, REFLECTED CEILING PLAN, ROOF DRAIN, REINFORCE (D) (ING) (MENT), REQUIRED, RESILIENT, RADIO FREQUENCY, RIGHT HAND, RIGHT HAND REVERSE, ROOM, ROUGH OPENING, VENT THROUGH ROOF, SANITARY, SCHEDULE, SECTION, SQUARE FOOT, SHEET REFERRING TO PAGES, SIMILAR, SHIVE-HATTERY, SLAB ON GRADE, SPECIFICATION(S), SQUARE, SQUARE INCH, SOLID SURFACE or STAINLESS STEEL, STREET or STONE, STAGGERED, SOUND TRANSMISSION CLASS, STANDARD, STEEL, STRUCTURE (AL), SYMMETRICAL, TOP OF TONGUE AND GROOVE, TANGENT, TO BE DETERMINED, TELEPHONE, TEMPORARY THROUGH, TELEVISION, TYPICAL, UNDERWRITERS LABORATORIES, UNLESS NOTED OTHERWISE, VINYL BASE, VINYL COMPOSITION TILE, VERTICAL, VERIFY IN FIELD, VINYL TILE, VENT THROUGH ROOF, VINYL WALL COVERING, WIDTH, WITH, WITHOUT, WATER CLOSET or WALL COVERING, WALL TILE or WEIGHT, WATER.

GENERAL SYMBOLS LEGEND



PROJECT GENERAL INFORMATION

- 1. COLOR HAS BEEN USED ON THESE DRAWINGS TO ENHANCE UNDERSTANDING. PRINTING IN COLOR IS RECOMMENDED TO ENSURE CLARITY.
2. ANY DAMAGE TO AREAS INSIDE OR OUTSIDE OF THE PROJECT AREA SHALL BE REPAIRED TO THE STATUS PRIOR TO CONSTRUCTION AT NO COST TO OWNER.
3. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ALL CUTTING, SUPPORTING, AND PATCHING IF NOT COVERED BY A SPECIFIC TRADE.
4. STRUCTURAL STEEL MEMBERS AND DECKING PROFILES, AS INDICATED ON ARCHITECTURAL DETAILS, ARE DIAGRAMMATIC AND MAY VARY FROM ACTUAL PROFILES AND SIZES SPECIFIED IN THE STRUCTURAL DRAWINGS. IN ALL CASES STRUCTURAL DRAWINGS SHALL GOVERN. FIELD VERIFY EXISTING PROFILE DIMENSIONS WHEN REQUIRED TO MATCH OR REPLACE EXISTING. NOTE CHANGES REQUIRED TO ARCHITECTURAL DETAILS IN SHOP DRAWINGS.
5. PROVIDE FOR PROTECTION OF ANY ROOF SURFACES USED DURING CONSTRUCTION. PROTECTION IS REQUIRED OVER FULL EXTENT OF THE WORK AREAS. MINIMUM PROTECTION CONSISTS OF 1/2" PLYWOOD OVER 1" EPS INSULATION.
6. EACH TRADE SHALL PROVIDE TESTED FIRESTOPPING ASSEMBLIES FOR PENETRATIONS OF THEIR WORK THROUGH FIRE-RATED WALLS AND FLOOR/CEILING ASSEMBLIES. FIRESTOPPING ASSEMBLIES ARE TO BE OF DESIGNS THAT PROVIDE THE SCHEDULED FIRE RATINGS WHEN TESTED IN ACCORDANCE WITH ASTM E119, ASTM E814, OR UL 1479, AND ARE TO BE INSTALLED BY INDIVIDUALS TRAINED AND EXPERIENCED WITH INSTALLATION OF SUCH ASSEMBLIES. PROVIDE SUBMITTALS TO LOCAL AUTHORITIES AS REQUESTED.
7. ALL ELEVATION REFERENCE IN BUILDING DRAWINGS ARE BASED ON 100'-0" WHICH RELATES TO [XXX.X] ABOVE SEA LEVEL ON SITE DRAWINGS.
8. IF COMPLIANCE WITH TWO OR MORE STANDARDS IS SPECIFIED AND THE STANDARDS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, COMPLY WITH THE MOST STRINGENT REQUIREMENT. REFER UNCERTAINTIES AND REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, TO ARCHITECT FOR A DECISION BEFORE PROCEEDING.
9. ABATEMENT WORK WILL BE UNDER SEPARATE CONTRACT. OBTAIN AND MAINTAIN ON SITE A COMPLETE SET OF ABATEMENT DOCUMENTS, INCLUDING ADDENDA AND CHANGES AFTER START OF CONSTRUCTION, FOR REFERENCE AND COORDINATION BY ALL TRADES. COORDINATE ALL DEMOLITION AND CONSTRUCTION WORK WITH THE ABATEMENT CONTRACTOR.
10. OBTAIN AND MAINTAIN A COMPLETE SET OF OWNER-PROVIDED EQUIPMENT DOCUMENTS, INCLUDING ADDENDA AND CHANGES AFTER START OF CONSTRUCTION, FOR REFERENCE AND COORDINATION BY ALL TRADES. COORDINATE WITH EQUIPMENT INSTALLER ON INSTALLATION OF ALL EQUIPMENT.
11. THE INDICATION OF TYPE AND LOCATION OF EXISTING CONDITIONS AND MATERIALS IN THE DRAWINGS IS NOT INTENDED AS EXACT DOCUMENTATION OF IN-PLACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS BEFORE SUBMISSION OF BIDS. EXISTING CONDITIONS VARYING FROM THOSE SHOWN IN THE DRAWINGS WILL NOT BE JUSTIFICATION FOR ADDITIONAL ALLOWANCE TO THE CONTRACTOR. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONDITIONS CONFLICT WITH THE DRAWINGS.
12. PROTECT ALL BUILDING SYSTEMS, NEW AND EXISTING, COVER SUPPLY, RETURN, AND EXHAUST AIR GRILLES, AND PROTECT OTHER SENSITIVE EQUIPMENT FROM ALL ACTIVITIES RELATED TO THIS CONTRACT. REMOVE PROTECTION AT END OF CONSTRUCTION.
13. ALL DISSIMILAR METALS SHALL BE ISOLATED FROM EACH OTHER EVEN IF NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS.
14. ALL CODE-REQUIRED LABELS SUCH AS "UL", "FACTORY MUTUAL", OR ANY EQUIPMENT IDENTIFICATION PERFORMANCE RATING, NAME, OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PAINTED OR COVERED BY OTHER CONSTRUCTION.
15. STRUCTURAL INFORMATION ON ARCHITECTURAL DRAWINGS IS FOR REFERENCE ONLY. STRUCTURAL INFORMATION ON STRUCTURAL DRAWINGS AND SPECIFICATIONS SHALL GOVERN.
16. ARCHITECTURAL DIMENSIONS AND DESIGN INTENT ARE INDICATED ON ARCHITECTURAL DRAWINGS. IF THE INSTALLATION OF EQUIPMENT FROM OTHER TRADES INTERFERES WITH COMPLIANCE OF THE DESIGN INTENT, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
17. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN LOCATION OF BUILDING ELEMENTS. IF DIMENSIONS ARE NOT AVAILABLE, CONTACT THE ARCHITECT.
18. WHEN DIMENSIONS ON SMALL SCALE DRAWINGS CONFLICT WITH THOSE ON LARGE SCALE DRAWINGS, THE LARGE SCALE DRAWINGS GOVERN.

studio 951 A DIVISION OF SHIVEHATTRY
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Quantum Wolf Creek 2 Apartments 110 Plex PROJECT GENERAL INFORMATION
NO. - ISSUED FOR - DATE -
JOB NO. > 5201700 G001

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CODE REVIEW >

Project: Wolf Creek Apartments – 110-Plex
Location: Bellevue, Nebraska
Architecture by: studio951, a Division of Shive-Hattery
Architect's Project Number: 5201700
Date of Review: February 22, 2021

Codes used:
International Building Code – 2012
International Fire Code - 2012
International Mechanical Code – 2012
International Fuel Gas Code - 2012
Uniform Plumbing Code – 2012
International Energy Conservation Code – 2018
National Electric Code - 2017
NFPA 101 – Life Safety Code 2000 edition

Other Mandatory Requirements:
Fair Housing Accessibility Guidelines
2010 ADA Standards for Accessible Design
ICC/ANSI 117.1-2009

International Building Code - IBC 2012
Occupancy Type: R-2 / A-3
Construction Type: Type V-A (R-2) / V-A (A-3)
Building Separation: One 2-Hour Fire Rated Wall to separate West Wing from Center Core and East Wing
Automatic Fire Sprinkler System: Required 13R (903.2.8).
Portable Fire Extinguishers: North Wing: (2) 2-A Extinguishers per floor (Table 906.3(1)).
South Wing: (3) 2-A Extinguishers per floor
Required (907.2.9.3).
Manual Fire Alarm: Required (907.2.11.2.1 and 907.2.11.2.2)
Smoke Detection: In each sleeping room, and outside of each sleeping room (907.2.11.2.1 and 907.2.11.2.2)
Carbon Monoxide Detection: Required. (Nebraska State Statute 76-606)

Table 503: Allowable Area, Allowable Height, Allowable Stories for R-2 and A-3 occupancy types.

Allowable Sprinkler Increase (Is) = N/A
Allowable Frontage Increase (If) = North Wing: 59.25% (F=385.64, P=457.72, W=30)
South Wing: 63.57% (F=558.69, P=630.77, W=30)
Adjusted Allowable Area: North Wing: (R-2) 19,110 SF, (A-3) 18,313 SF
South Wing: 19,628 SF
Allowable Area Ratio Check: North Wing / First Floor: 7,549 SF / 19,110 SF + 2,897 SF / 18,313 SF = 0.40 + 0.16 = 0.56 < 1 = PASS
Maximum Allowable Area: North Wing: (10,333 SF / 19,110 SF) = 0.54 x 3 Floors + 0.56 (First Floor) = 2.18 < 3
PASS (506.5.2)
South Wing: 19,628 x 4 Floors = 78,512 SF (506.4.1, Exception 2)
Adjusted Allowable Height: 60 FT (510)
Adjusted Allowable Stories: 4 Stories (504.2)

Actual Area table showing floor-by-floor breakdown for North and South Wings across 1st to 4th floors.

Actual Height: 49'-7 3/4" (Average Height), 56'-8 1/2" (Ridge Height)
Actual Stories: 4 Stories

Fire Resistance Ratings table for Structural, Bearing, Non-Bearing, Frame Walls, Walls, Floor, Roof, Shafts.

Dwelling Separation Walls: 1 HR (708.3)
A-3 and R-2 Separation Walls and Ceiling: 2 HR
Fire Separation Distance:

1st - 3rd (N-A): < 30 FT = 1 HR Fire Rating
Rated for inside exposure only when > 5 FT
Rated for inside and outside exposure when ≤ 5 FT

Exterior Wall Projections table with columns for Fire Rating, Distance Limitation, Materials.

Maximum Area of Exterior Wall Openings: No Limit (> 20 FT, Unprotected, Sprinklered)
Vertical Separation of Openings: Not required (705.8.5, Exception 1)
Parapet: Not Required (705.11, Exception 1).
Opening Protectives: Exit enclosure and passageway: 1 HR
Other Fire Barriers: 45 MIN
Corridor Walls (1 Hour): 20 MIN

Fireblocking: 2x Nominal Wood Lumber or 12" wide roll of Fire Safing Blanket adhered to wall sheathing or gypsum panels spaced at each floor level or 10'-0" maximum vertically. Other options may be used that are compliant with Section 718.2.1.
Draftstopping: Floors – @ Separation walls. Attic – Area not exceeding 3,000 SF or two dwelling units (718.3.2. and 718.4.2, Exception 3).

Interior Wall and Ceiling Finishes:
Exits: A
Corridors: B
Other Spaces: C
Floor Finish: Class II

GENERAL NOTES >

- 1. NO SIGNS UNDER THIS PERMIT.
2. NO PARKING LOT LIGHTING UNDER THIS PERMIT.
3. PROVIDE SHOP DRAWINGS FOR MILLWORK.
4. PROVIDE COLOR SAMPLES AND CUT-SHEETS FOR WRITTEN APPROVAL BY THE OWNER FOR ALL FINISH MATERIALS.

NOTES:
1.) ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING
2.) UNLESS OTHERWISE NOTED, ALL INTERIOR DOORS TO BE LOCATED:
A) @ CENTER OF ALL CLOSET SPACES.
B) @ 4" FROM FRAMING TO DOOR JAM.
3.) ALL FLOOR FINISHES TO BE COORDINATED WITH INTERIOR FINISH PACKAGE WITH EACH UNIT.
4.) REFER TO MECH. PLANS FOR LOCATIONS OF REQUIRED CHASES

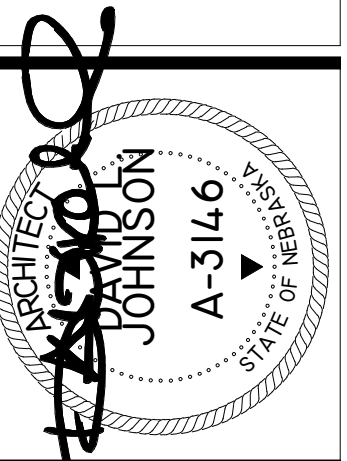
NOTE:
TYPE V-A BUILDING DENSGLASS ON EXTERIOR WALLS

CODE REVIEW CONT. >

Egress:
Residential areas = 200 SF / Occ, Exercise rooms = 50 SF / Occ, Assembly = 15 SF / Occ, Conference = 15 SF / OC
Business = 100 SF / Occ, Mechanical = 300 SF / Occ
(Other First Floor Lobby Areas connected to the residence are incidental spaces.)
First Floor: North Wing: 7,549 SF / 200 + 782 SF / 50 + 785 SF / 15 + 353 SF / 15 + 400 SF / 100 + 130 SF / 300 = 38 + 16 + 53 + 24 + 4 + 1 = 136 OCC
South Wing: 16,168 SF / 200 SF/OCC = 81 OCC
Second - Fourth: North Wing: 10,333 SF / 200 SF/OCC = 52 OCC Per Floor
South Wing: 16,048 SF / 200 SF/OCC = 81 OCC Per Floor
Door Opening: 32 inches minimum (1008.1.1.).
Public Stair Width: 44 inches minimum (1009.4).
Public Stair Dimensions: 11" Tread Min., 4" Rise Min., 7" Riser Max. (1009)
Stair Headroom: 6'-8" Minimum.
Maximum Vertical Stair Rise without Landing: 12'-0"
Exit Illumination: Required except for Dwelling Units (1006.1, Exception 3).
Exit Signs: Not required within Dwelling Units (1011.1, Exception 3).
Common Path of Travel: 125 FT (Table 1014.3).
Two Exits Required: Yes (Table 1015.1).
Exit Access Travel Distance: 250 FT (Table 1016.1).
Minimum Corridor Width: Public: 44 inches. Within Dwelling Unit: 36 inches. (Table 1018.2).
Corridor Dead End: 20 FT (1017.3).
Areas of Refuge: Not required (1007.3.6).



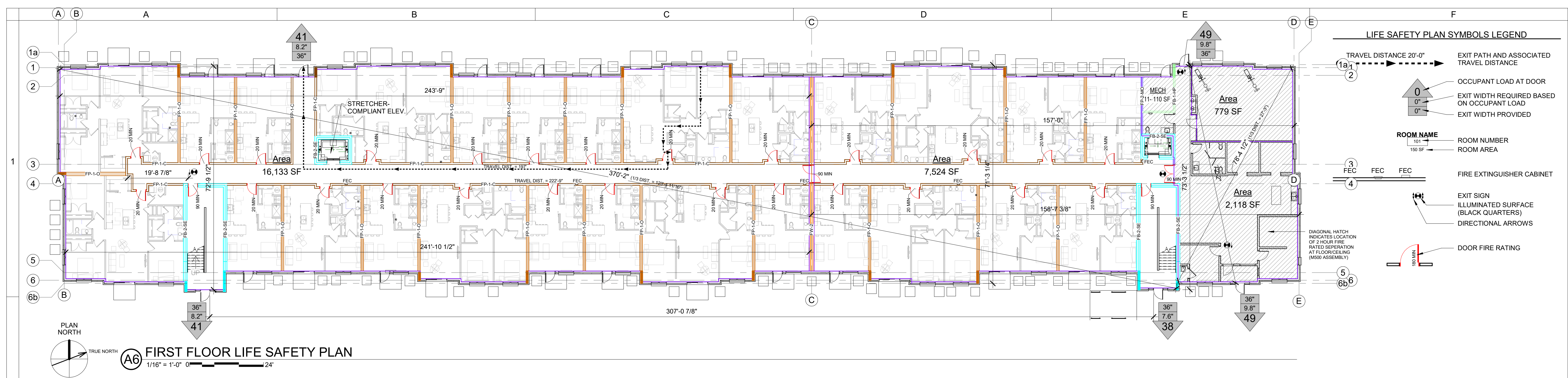
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Quantum Wolf Creek 2 Apartments 110 Plex
CODE AND GENERAL NOTES

Table with columns for NO. > ISSUED FOR > and DATE >

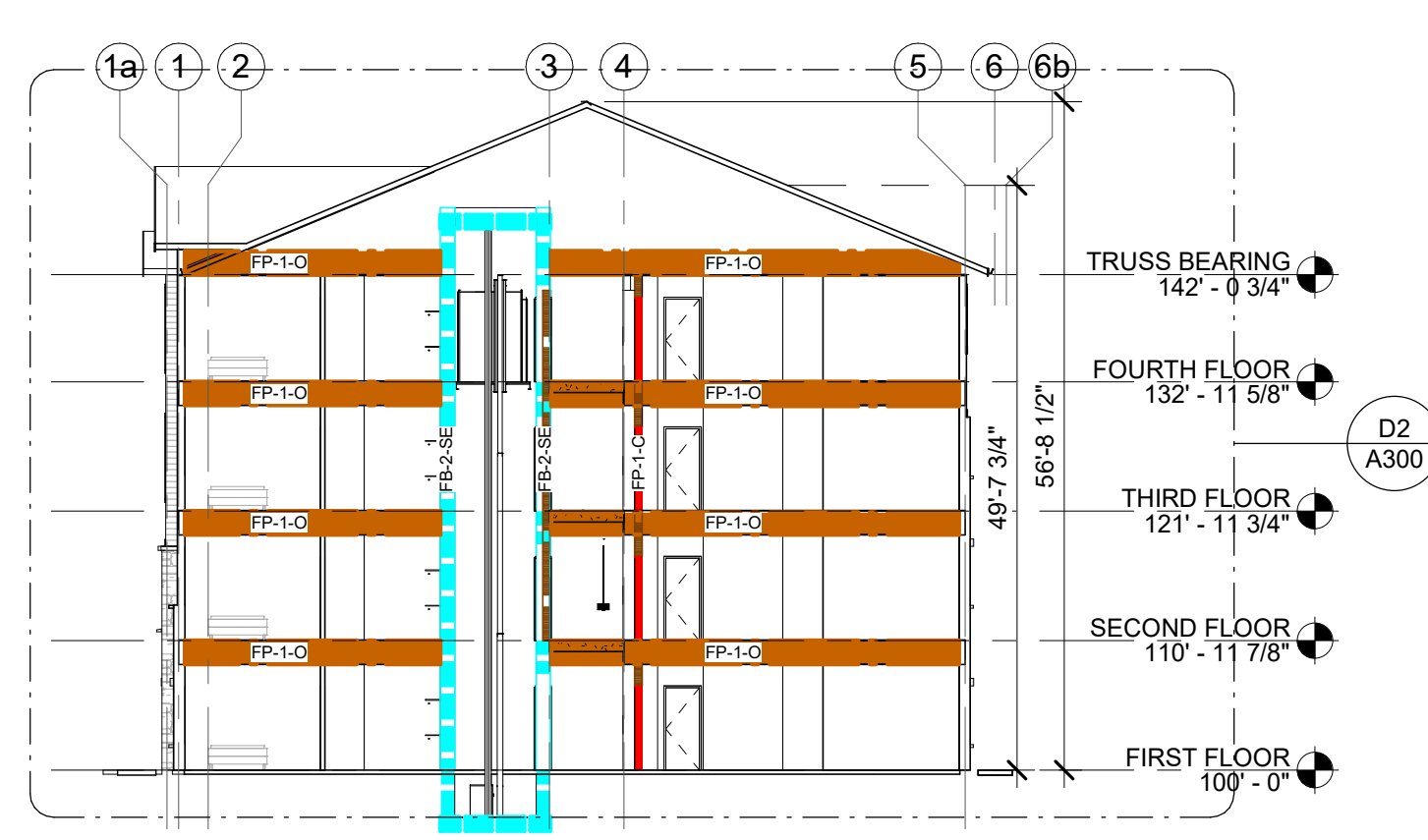
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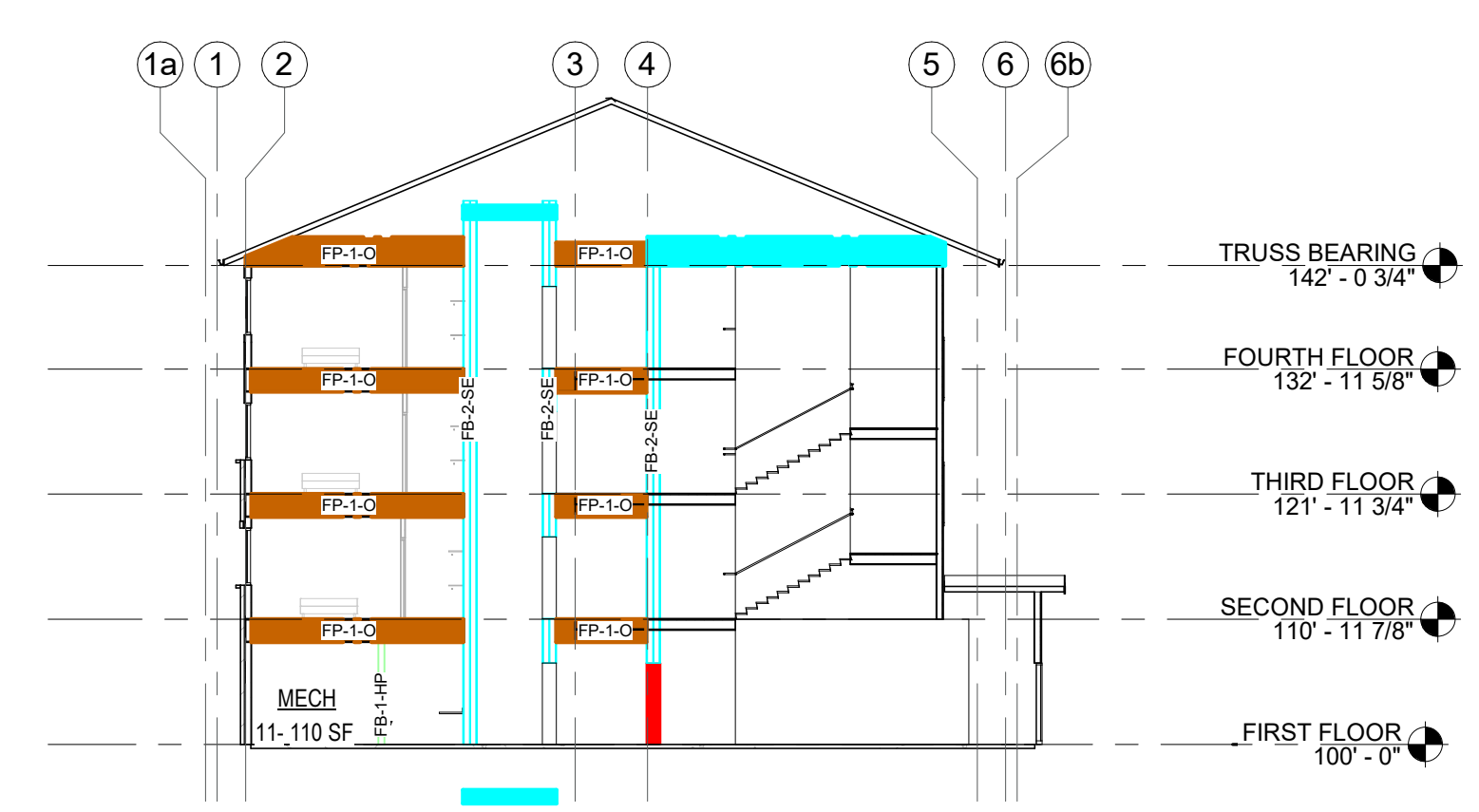
A6 FIRST FLOOR LIFE SAFETY PLAN
1/16" = 1'-0" 0" = 24"



A3 LIFE SAFETY SECTION
1/16" = 1'-0" 0" = 24"



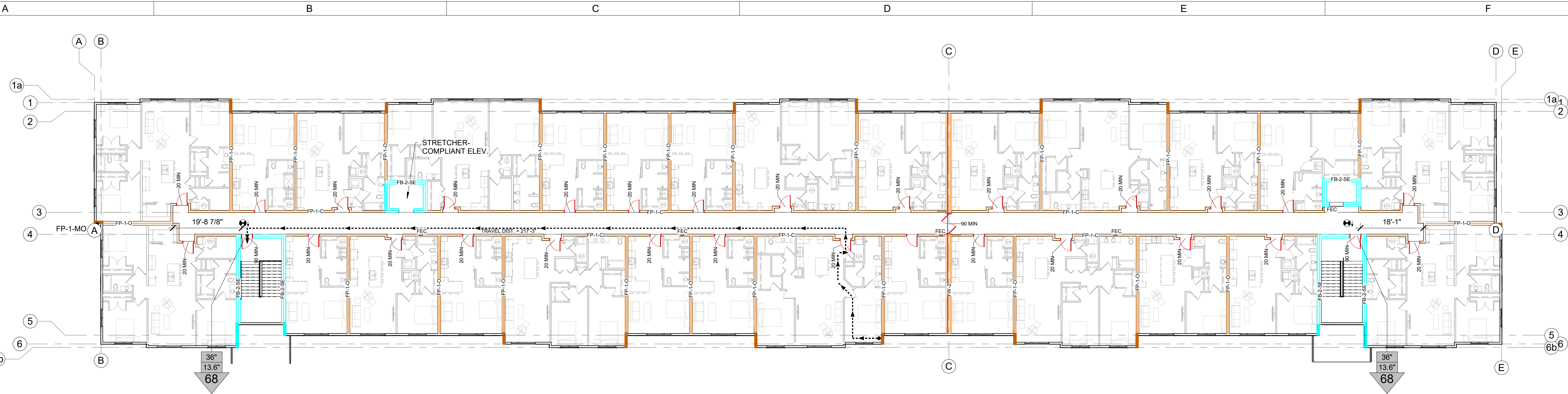
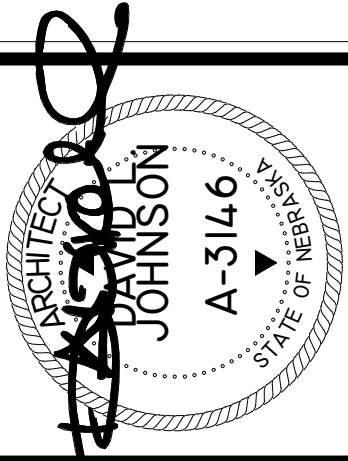
A4 LIFE SAFETY SECTION
1/16" = 1'-0" 0" = 24"

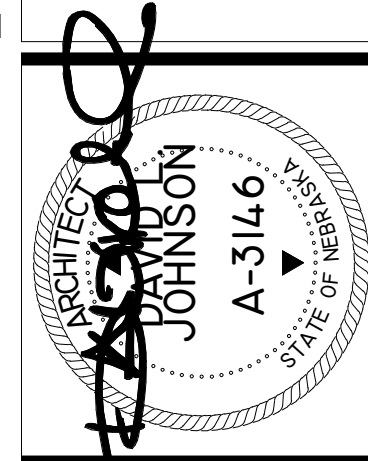


B4 LIFE SAFETY SECTION
1/16" = 1'-0" 0" = 24"

WALL RATING INDICATORS AND CODES						
PLAN INDICATOR PATTERN	SEPARATION DESIGNATION	RATING	DESCRIPTION	USE	DOORS	HVAC
[Solid Blue]	SB-1	1 HR	SMOKE BARRIER	SMOKE COMPARTMENT	20 MIN	ALLOWED W/ SMOKE DAMPERS
[Dashed Blue]	FP-1-C	1 HR	FIRE PARTITION / HORIZONTAL ASSEMBLY	CORRIDOR	20 MIN	ALLOWED W/ FIRE DAMPERS
[Dashed Orange]	FP-1-O	1 HR	FIRE PARTITION / HORIZONTAL ASSEMBLY	NON-CORRIDOR	45 MIN	ALLOWED W/ FIRE DAMPERS
[Dashed Red]	FB-1-EE	1 HR	FIRE BARRIER	EXIT ENCLOSURES	60 MIN	NOT ALLOWED
[Dashed Green]	FB-1-HP	1 HR	FIRE BARRIER	HAZARD PROTECTION	45 MIN	ALLOWED W/ FIRE DAMPERS
[Dashed Purple]	FB-1-MO	1 HR	FIRE BARRIER	OCCUPANCY SEPARATION	45 MIN	ALLOWED W/ FIRE/SMOKE DAMPERS
[Dashed Yellow]	FB-2-EE	2 HR	FIRE BARRIER	EXIT ENCLOSURE	90 MIN	NOT ALLOWED
[Dashed Cyan]	FB-2-HP	2 HR	FIRE BARRIER	HAZARD PROTECTION	90 MIN	ALLOWED W/ FIRE DAMPERS
[Dashed Magenta]	FB-2-MO	2 HR	FIRE BARRIER	OCCUPANCY SEPARATION	90 MIN	ALLOWED W/ FIRE/SMOKE DAMPERS
[Dashed Brown]	FB-2-SE	2 HR	FIRE BARRIER	SHAFT ENCLOSURE	90 MIN	ALLOWED W/ FIRE/SMOKE DAMPERS
[Solid Orange]	FW-2	2 HR	FIRE WALL	BUILDING SEPARATION	90 MIN	ALLOWED W/ FIRE DAMPERS

- CODE PLAN GENERAL NOTES**
- FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL BE LOCATED WITHIN 1/8" OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30' MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION AND INCLUDE LETTERING NOT LESS THAN 3" TALL AND A MINIMUM 3/8-INCH STROKE IN A CONTRASTING COLOR STATING: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS".
 - LIFE SAFETY PLAN SHEET SHALL BE PRINTED IN COLOR.**





2A EAST ELEVATION - Material Quantities

1/16" = 1'-0"

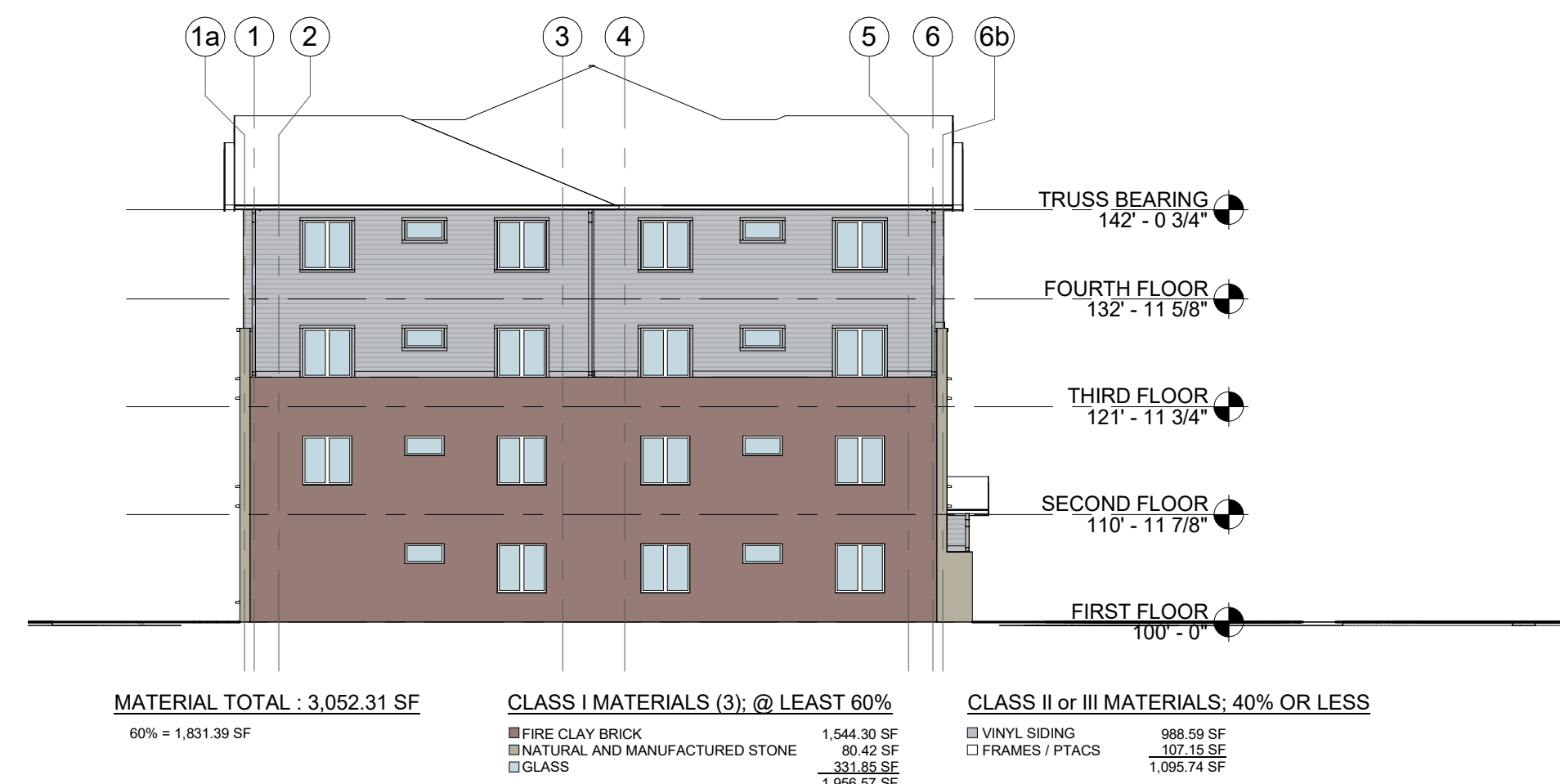


3A WEST ELEVATION - Material Quantities

1/16" = 1'-0"

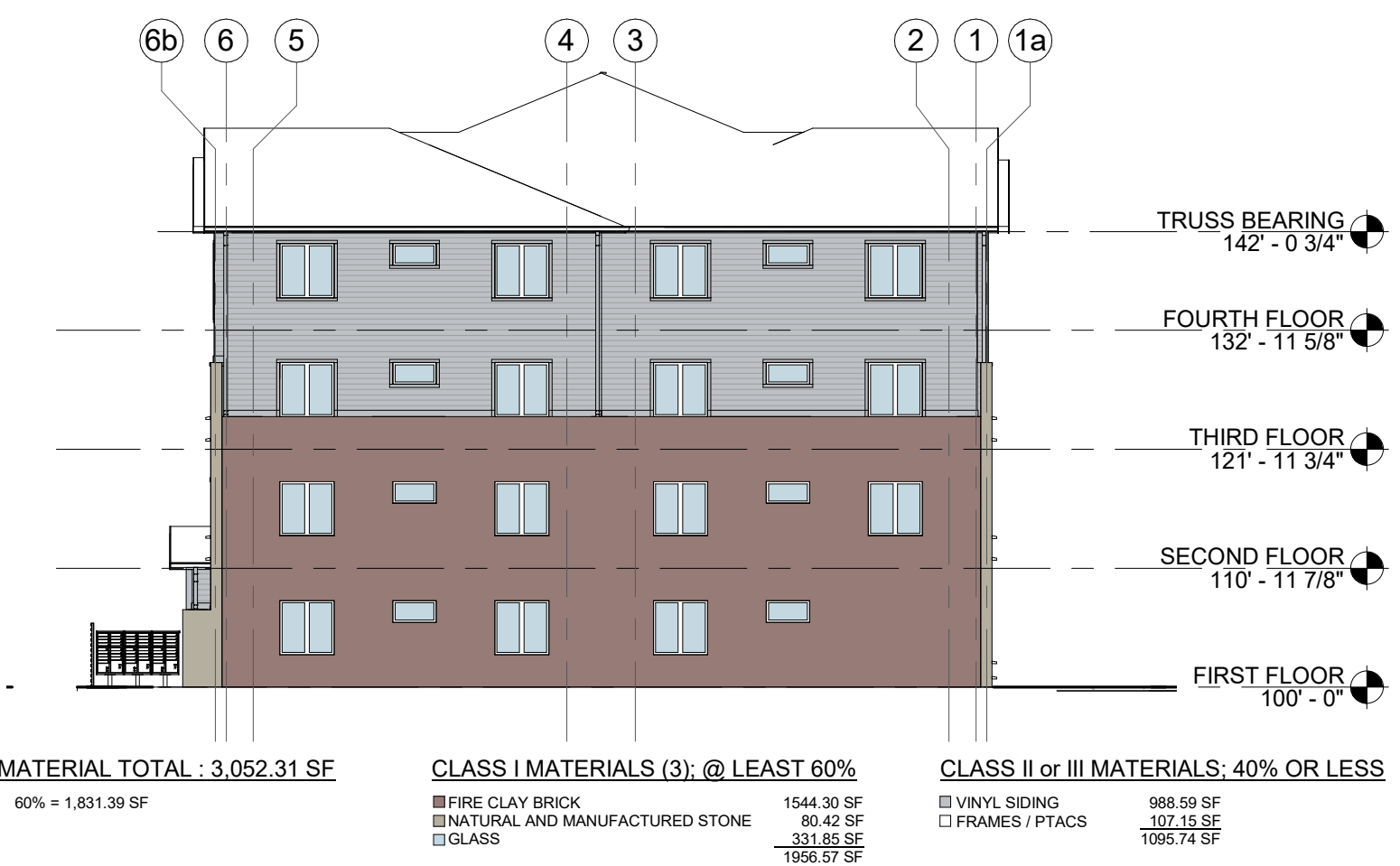
NOTE

COLORS ON THIS SHEET ARE INTENDED TO IDENTIFY THE MATERIAL CORRESPONDING TO THE PERCENTAGE BREAKDOWN KEY BELOW EACH ELEVATION AND ARE NOT NECESSARILY REPRESENTATIVE OF THE MATERIAL COLOR SELECTIONS.



4C SOUTH ELEVATION - Material Quantities

1/16" = 1'-0"



4E NORTH ELEVATION - Material Quantities

1/16" = 1'-0"