

CODE DATA

A. BUILDING CRITERIA
 BUILDING CODES:
 2018 IBC-INTERNATIONAL BUILDING CODE
 2018 IEBC-INTERNATIONAL EXISTING BUILDING CODE
 Level alterations 2 REMODEL OF EXISTING SPACE. NO EGRESS IS EFFECTED.
 2012 IMC - International Mechanical Code
 Municipal Code - Omaha Municipal Code
 2018 OPC - Omaha Plumbing Code
 IFC 2012
 LSC 2012

TENANT USE: RELIGIOUS WORSHIP OCCUPANCY: B-BUSINESS
 CONSTRUCTION TYPE: VB
 BUILDING AREA: 2,927 SQ.FT.

B. AREAS:
 SALON AREA: 2,927 SQ.FT.

C. OCCUPANCY:
 MAIN FLOOR:
 MULTI PURPOSE: 2,927 SQ.FT. / 100 SQ.FT. = 30 OCCUPANTS

D. EXITS
 1 REQUIRED: 2 PROVIDED

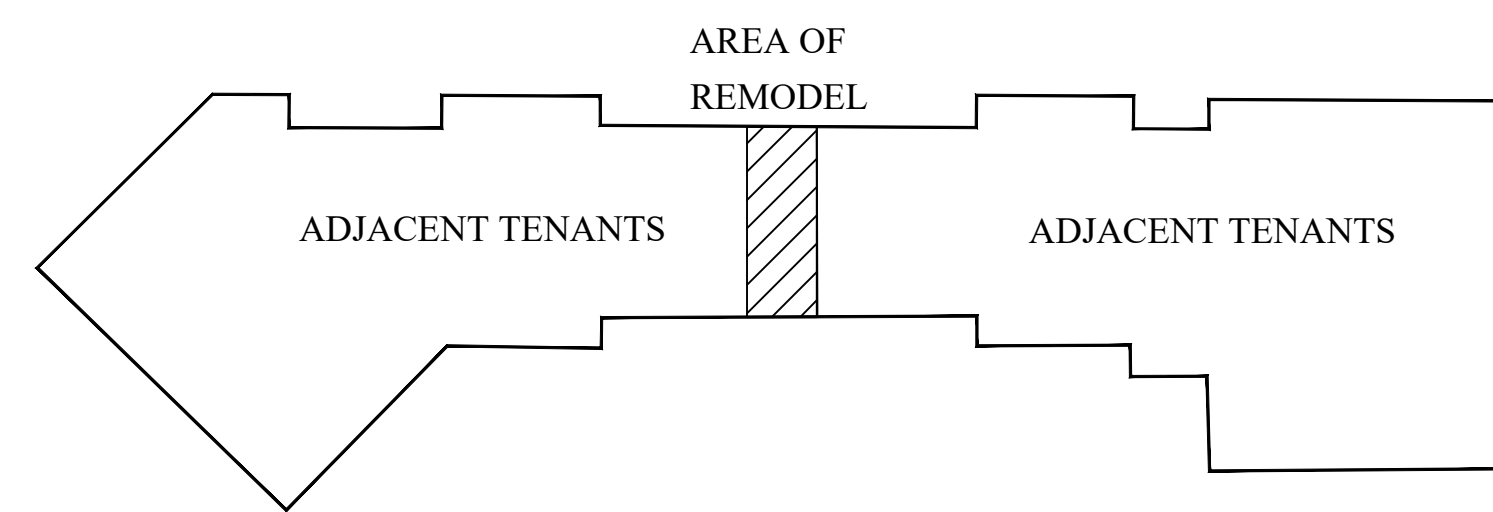
- E. ACCESSIBILITY:
- 1) SITE
 - a) REQUIRED ACCESSIBLE ROUTES OF TRAVEL PROVIDED YES
 - b) ACCESSIBLE PARKING PROVIDED 1
 - c) VAN ACCESSIBLE PARKING SPACES 1
 - d) EACH ACCESSIBLE PARKING SPACE IDENTIFIED BY SYMBOL AND SIGNED YES
 - e) WALKS NOT INTERRUPTED BY STEPS OR ABRUPT CHANGES IN LEVEL YES
 - f) WALKS MINIMUM 48" IN WIDTH YES
 - g) CURB RAMPS CONSTRUCTED WHERE PEDESTRIAN WAY CROSSES CURBS YES
 - h) CURB RAMPS HAVE DETECTABLE WARNING IN TEXTURE AND VISUAL CONTRASTYES
 - 2) BUILDING ENTRANCES & EXITS
 - a) ALL ENTRANCES AND GROUND FLOOR EXITS ARE ACCESSIBLE YES
 - b) LEVEL AREA OF REQUIRED SIZE PROVIDED AT EACH ENTRANCE AND EXIT YES
 - c) ACCESSIBLE BUILDING ENTRANCES ARE SIGNED TO APPROACHING PEDESTRIAN WAYSYES
 - 3) INTERIOR AND EXTERIOR DOORS
 - a) REQUIRED ACCESSIBLE ROUTES OF TRAVEL AND MANEUVERING CLEARANCES PROVIDEDYES
 - b) FLOOR OR LANDING NOT MORE THAN 1/2" LOWER THAN THRESHOLD OF DOORWAY YES
 - c) SINGLE EFFORT LEVER TYPE HARDWARE ON HAND OPERATED DOORS YES
 - d) OPERATION EFFORT NOT GREATER THAN 8-1/2 LBS EXTERIOR DRS & 5 LBS INTERIOR DRS YES
 - 4) CORRIDORS & AISLES
 - a) CORRIDORS SERVING OCCUPANT LOAD OF 10 OR MORE MIN 44" CLEAR WIDTH YES
 - 5) PROTRUDING OBJECTS
 - a) PROTRUDING OBJECTS DO NOT REDUCE REQD WIDTHS OR MANEUVERING SPACE YES
 - b) MAX PROJECTION WHEN MOUNTED BETWEEN 27" AND 80" AFF IS 4" YES
 - 6) CONTROLS AND OPERATING MECHANISMS
 - a) CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH AT ACCESSIBLE CONTROLSYES
 - b) ACCESSIBLE CONTROLS OPERABLE WITH ONE HAND, MAXIMUM 5 LBS OPERATING FORCEYES
 - c) ACCESSIBLE CONTROLS MOUNTED AT REQUIRED HEIGHT YES
 - 7) MULTIPLE ACCOMMODATION TOILETS
 - a) CLEAR ACCESS OF 44" MIN WIDTH PROVIDED TO REACH ACCESSIBLE STALL YES
 - b) 60" DIA CLEAR SPACE PROVIDED WITHIN BOTH THE TOILET ROOM AND ACCESSIBLE STALLYES
 - c) ALL REQD CLEARANCES, FIXTURES AND ACCESSORIES PROVIDED YES
 - d) REQUIRED TOILET ROOM SIGNING PROVIDED IN REQUIRED CONFIGURATION AND LOCATIONSYES
 - 8) EMERGENCY WARNING SYSTEMS
 - a) WARNING SYSTEM HAS APPROVED NOTIFICATION APPLIANCES FOR THE HEARING IMPAIREDYES

CREATES SALON SUITES

17841 PIERCE PLAZA

omaha, nebraska

KEY PLAN



KEY PLAN
 NOT TO SCALE

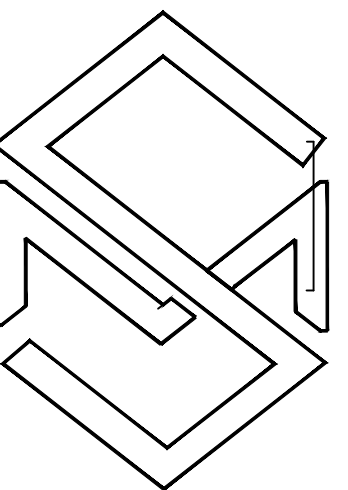
DRAWING INDEX

SHEET NO.	SHEET TITLE
1 OF 3	COVER SHEET
2 of 3	REMODEL PLAN
3 OF 3	POWER PLAN

ARCHITECT
 MARK SANFORD GROUP
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NOTE:
 I, MARK SANFORD, OF MARK SANFORD GROUP
 WILL SERVE AS THE COORDINATING PROFESSIONAL
 FOR THE CREATES SALON SUITES 17841 PIERCE PLAZA
 Mark N Sanford 9.18.23

CREATES SALON SUITES
17841 PIERCE PLAZA
 omaha, nebraska



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PHONE: 402.598.0442

PROJECT:
 CREATES SALON SUITES

ARCHITECT:
 MARK N. SANFORD, AIA

DRAWN BY:
 MNS

DATE:
 9.15.23

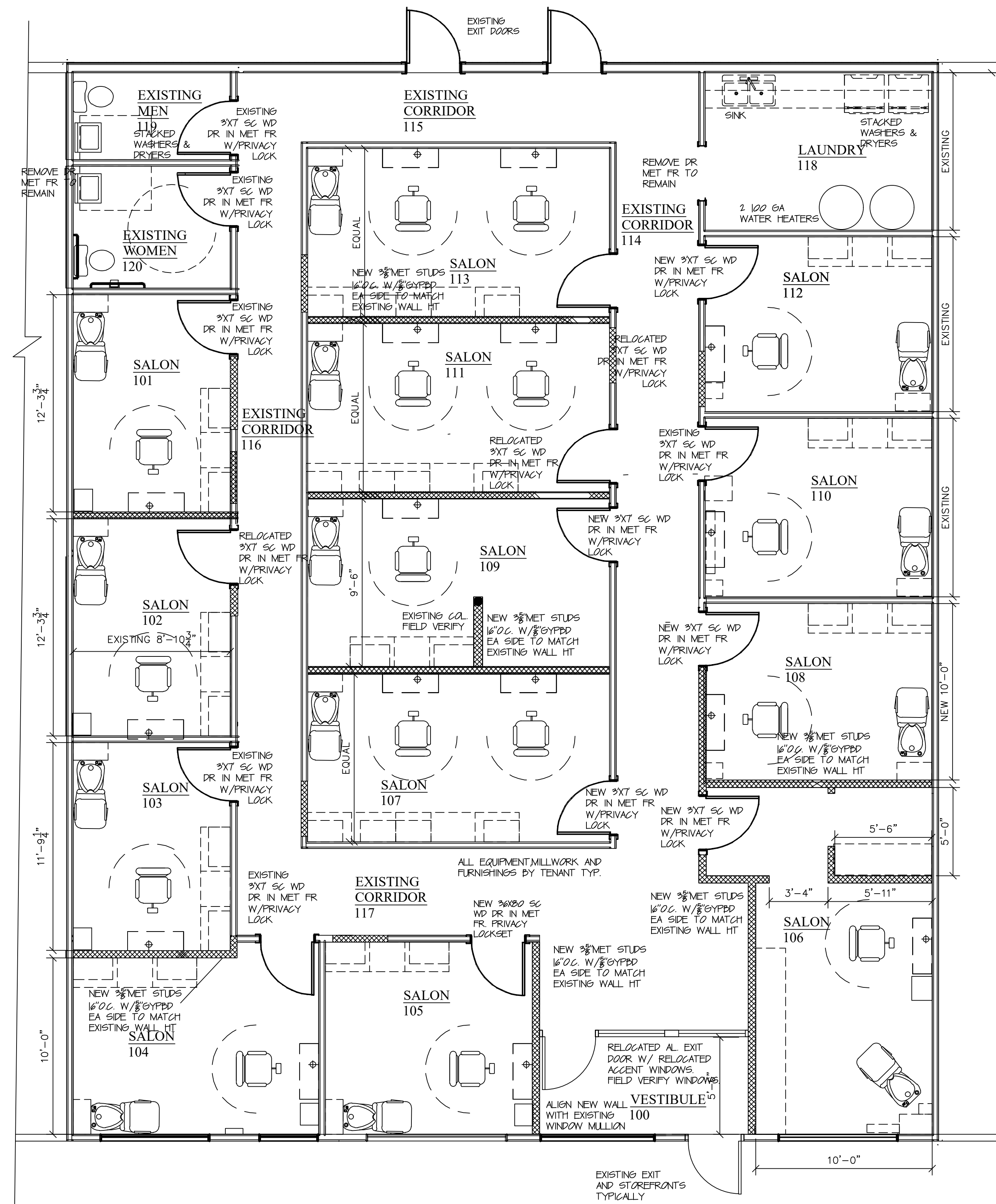
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TITLE:
 COVER SHEET

SHEET:
1 OF 3

GENERAL NOTES:

1. THE GENERAL CONDITIONS OF AIA DOCUMENT A201-2017 ARE APPLICABLE TO THIS PROJECT.
2. THE CONTRACTOR MUST VERIFY ALL INFORMATION SHOWN AND SHALL BE RESPONSIBLE FOR SAME.
3. CONTRACTOR MUST CONFIRM ALL SPECIFICATION AND FINISHES WITH OWNER PRIOR TO THE START OF CONSTRUCTION.
4. CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES.
5. ELECTRICAL WILL BE DESIGNED AND INSTALLED BY THE ELECTRICAL CONTRACTOR REGISTERED WITH THE CITY OF OMAHA. ALL CONTRACTORS TO OBTAIN THE REQUIRED BUILDING PERMITS.
6. MECHANICAL SYSTEMS WILL BE DESIGNED AND INSTALLED BY A MECHANICAL CONTRACTOR LICENSED BY THE CITY OF OMAHA. ALL CONTRACTORS TO OBTAIN THE REQUIRED BUILDING PERMITS.
7. CONTRACTORS MUST PROVIDE LIABILITY INSURANCE TO PROTECT THE TENANT AND OWNER FROM ANY & ALL CLAIMS THAT MAY ARISE DUE TO ACTS BY THE CONTRACTOR AND/OR SUBCONTRACTORS.
8. ALTHOUGH NOT SPECIFICALLY INDICATED, CONTRACTORS WILL PROVIDE AND INSTALL ALL SUPPLEMENTARY AND MISCELLANEOUS ITEMS AND DEVICES INCIDENTAL TO AND NECESSARY FOR A SOUND, SECURE AND COMPLETE PROJECT.
9. CONTRACTOR TO PROVIDE ONE YEAR WARRANTY ON ALL EQUIPMENT AND WORK.
10. VERIFY EXISTING CONDITIONS. VERIFY LOCATION OF ALL UTILITIES ENTRANCES AND SIZES, ETC.
11. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTORS, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK FOR THE FAILURE OF ANY ITEM TO BE CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
12. VERIFY ALL FINISHES WITH TENANT. PATCH AND/OR REPAIR ALL WALLS AS NECESSARY TO MATCH ADJACENT SURFACES.
13. PROVIDE AND INSTALL ALL NEEDED WOOD BLOCKING AND SUPPORTS. VERIFY ALL LOCATIONS FOR WOOD BLOCKING FOR THE MOUNTING AND ATTACHMENT OF ALL EQUIPMENT, MILLWORK, ETC. WITH OWNER.
14. PROJECT IS THE REMODEL OF A FORMER BUSINESS SPACE THAT WAS A PERSONAL SERVICES OCCUPANCY. NEW OPERATION OF THIS LOCATION WILL BE REMODELING EXISTING ROOMS FOR USE AS SALON SUITES TO BE LEASED BY MULTIPLE USERS.
15. VERIFY ALL FINISHES WITH TENANT PRIOR TO INSTALLATION.
16. OCCUPANCY IS B-BUSINESS
17. CONTRACTOR TO MAINTAIN STRUCTURAL INTEGRITY AND WEATHER TIGHTNESS OF ALL STRUCTURES DURING ALL PHASES OF CONSTRUCTION.
18. MECHANICAL SYSTEMS TO REMAIN. RELOCATE DUCTWORK AS NECESSARY.
19. EXISTING SUSPENDED ACOUSTIC CEILING TO REMAIN. 2 X 4 LIGHT FIXTURES TO BE REPLACED WITH 2X4 LED FIXTURES. RELOCATE FIXTURES AS NECESSARY TO CONFORM TO NEW WALL LOCATIONS. RELOCATE HVAC DIFFUSERS AND GRILLES AS NECESSARY. VERIFY LOCATIONS OF POWER SUPPLIES, REQUIREMENTS AND LOCATIONS WITH TENANT.
20. BUILDING IS EQUIPPED WITH FIRE SUPPRESSION SYSTEM. RELOCATE SPRINKLERS AND HEADS AS NECESSARY. PROVIDE ALL WARNING DEVICES AS REQUIRED BY ALL CODES.

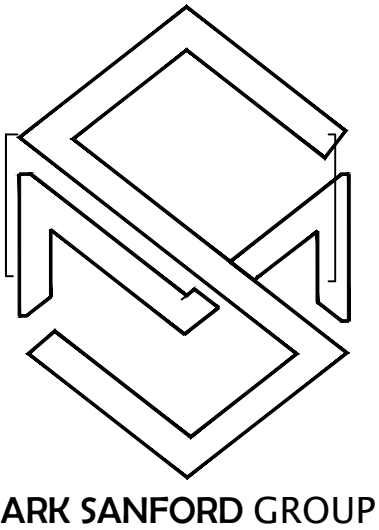


REMODEL PLAN

0 2 4 8

REMODEL AREA: 2,927 SF

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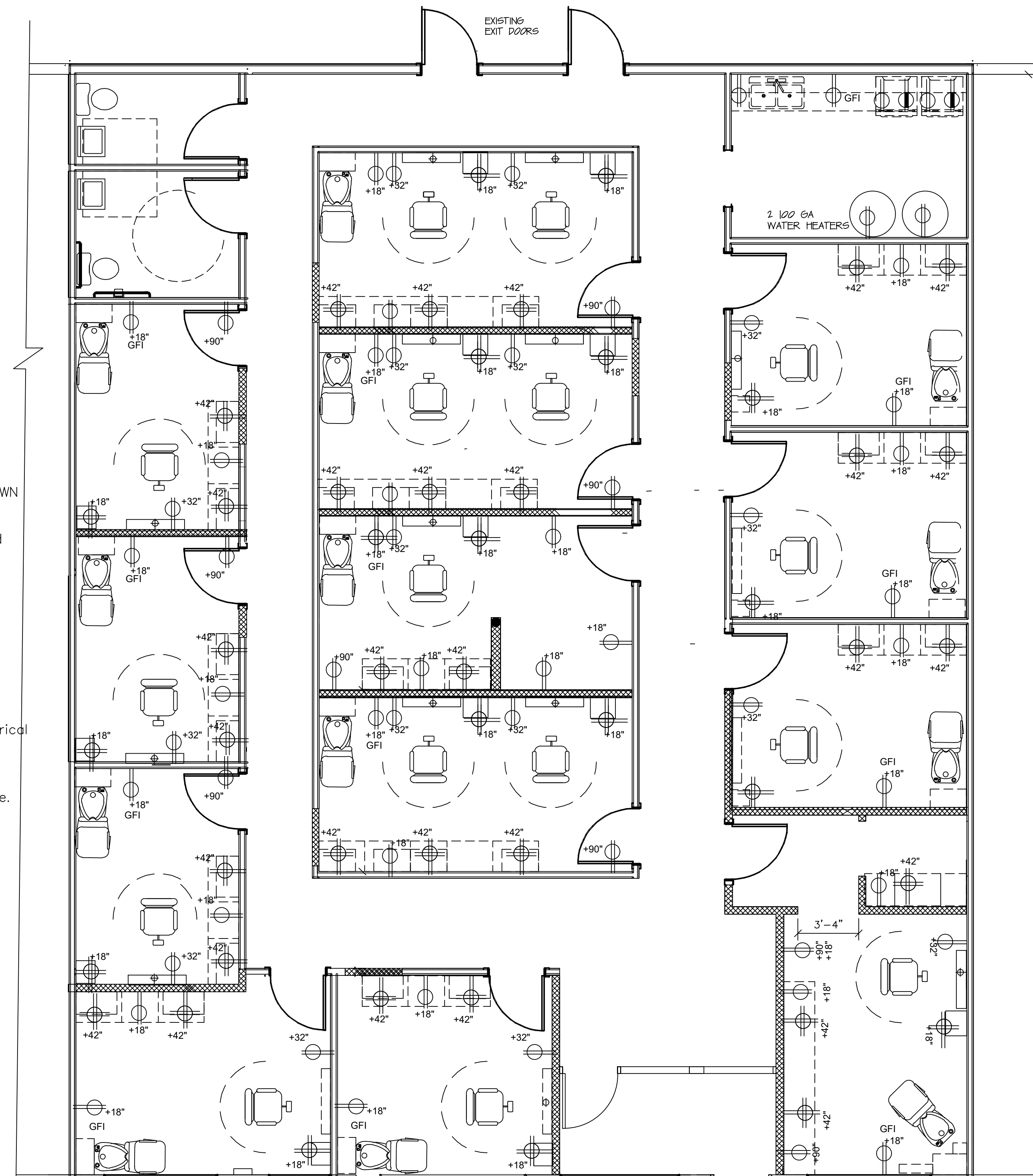
SHEET:

2 OF 3

ELECTRICAL NOTES:

All electrical work shall conform to latest NEC adopted by the City of Plattsmouth, Nebraska
 All electrical work shall be performed by licensed electrician registered by the State of Nebraska
 Contractor shall verify all electrical load required and provide sufficient power

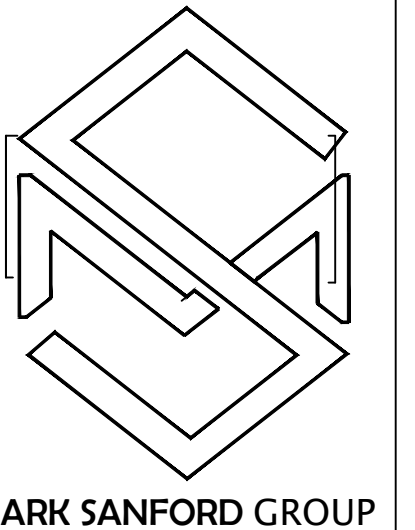
1. Coordinate equipment rough-in connection and requirements with owner. Allowances are to be included for unforeseen conditions that may effect the contractor's scope of work which required for accomplishing the intent of this design.
2. Electrical contractor shall label all circuits in panel directory with rooms & devices.
3. All penetrations within rated walls and floors must be UL listed. CAULK shall be HILTI product #FS611A or equivalent.
4. All conduit installed indoors are to be electrical metallic tubing (EMT), minimum 12". Conductors are to be #12 THHN/THWN copper and to be provided with one hot, one neutral and one equipment ground conductor. MC cable may be used where allowed by local codes.
5. Conduit installations throughout the project shall be run parallel or perpendicular to building lines and shall be installed neatly and securely fastened to studs in accordance to the NEC.
6. All empty conduits shall be provided with a pull wire.
7. Electrical contractor shall include ground wire in all raceways. Size raceways as necessary to comply with N.E.C.
8. Minimum wire size shall be #12 AWG copper, conductors #8 AWG and larger which shall be stranded copper with thin insulation for dry locations and RHW for wet locations. Splice branch circuits with 3M "SCOTCHLOK", T&B "STA-KON" or equal.
9. All wiring #10 AWG and smaller shall be solid.
10. All outlet & junction boxes shall be steel, with accessories as required.
11. Receptacles shall be heavy duty, 20 Amps, 125V, duplex, NEMA 5-20R, grey-colored, Pass & Seymour or equal.
12. Disconnect switches shall be 240V, heavy duty sized per load requirements, Square-D or equal.
13. Exit and emergency lights must be connected to "Hot" unswitched leg or circuit indicated.
14. All wiring above grade shall be in metallic conduit. All conduits shall be sized in accordance with the city adopted electrical code with minimum sizes of 3/4". All below grade shall be in 40 PVC.
15. All wiring in finished spaces shall be concealed.
16. Coordinate installation of devices at cashier's counters with owner.
17. All receptacles installed in area within 6' of water source and outdoors shall be GFCI type or protected by a GFCI device.
18. All receptacles 18" A.F.F. or 6" above top of counter and switches at 46" A.F.F. finalize with owner.
19. Electrical circuiting to be designed and installed by a licensed electrical contractor.



- LEGEND**
- POWER OUTLET W/GFI
 - POWER DUPLEX OUTLET
 - POWER QUAD OUTLET
 - POWER FOR DRYER OUTLET
 - +00" MOUNTING HEIGHTS



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